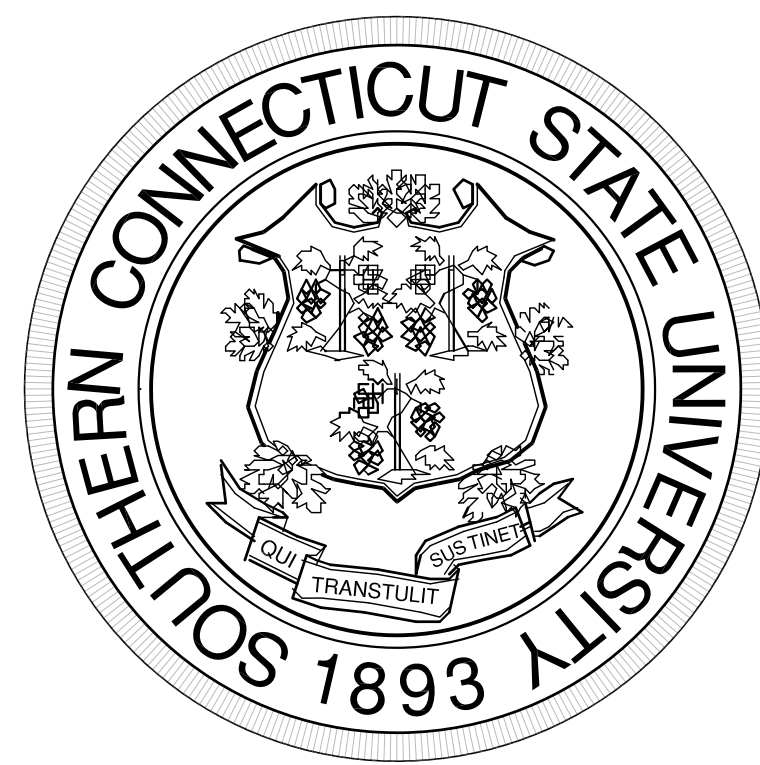


SOUTHERN CONNECTICUT STATE UNIVERSITY

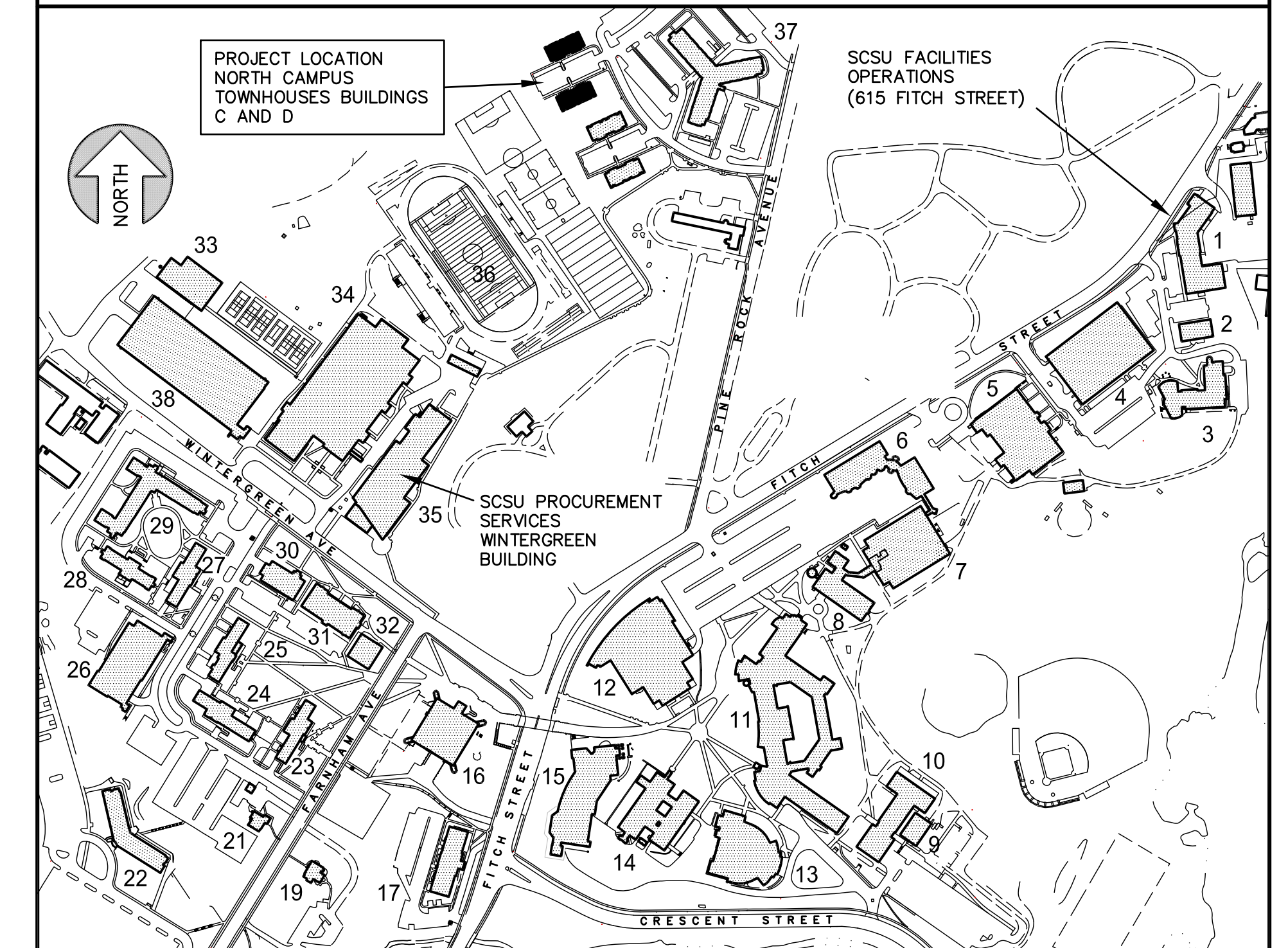


**DR. JOSEPH A. BERTOLINO
PRESIDENT**

NORTH CAMPUS TOWNHOUSES C & D UNITS RENOVATIONS 2021

PROJECT NO. SCSU-2021-01

LOCATION MAP



BUILDING NUMBER LEGEND

1 FACILITIES OPERATIONS	22 BROWNELL HALL – RESIDENCE HALL
2 NURSING CLASSROOM BUILDING	23 FARNHAM HALL – RESIDENCE HALL
3 DAVIS HALL	24 WILKINSON HALL – RESIDENCE HALL
4 FITCH STREET PARKING GARAGE	25 CHASE HALL – RESIDENCE HALL
5 PELZ GYMNASIUM	26 WEST CAMPUS PARKING GARAGE
6 ACADEMIC SCIENCE AND LABORATORY BUILDING	27 HICKERSON HALL – RESIDENCE HALL
7 JENNINGS HALL	28 NEFF HALL – RESIDENCE HALL
8 MORRILL HALL	29 WEST CAMPUS RESIDENCE COMPLEX
9 TE-8 – CLASSROOM BUILDING 8	30 UNIVERSITY POLICE AND GRANOFF STUDENT HEALTH CENTER
10 SCHOOL OF BUSINESS	31 OFFICE BUILDING 1
11 ENGLEMAN HALL	32 TE-6 TEMPORARY BUILDING 6
12 BULEY LIBRARY	33 ENERGY CENTER
13 LYMAN CENTER FOR THE PERFORMING ARTS	34 MOORE FIELD HOUSE
14 EARL HALL 15 EARL HALL	35 WINTERGREEN BUILDING
15 ADANTI STUDENT CENTER	36 JESS DOW FIELD
16 CONNECTICUT HALL – FOOD SERVICE	37 NORTH CAMPUS RESIDENCE COMPLEX
17 SCHWARTZ HALL – RESIDENCE HOUSING OFFICE	38 WINTERGREEN AVENUE PARKING GARAGE
18 ETHNIC HERITAGE CENTER	
19 ALUMNI HOUSE	
20 LANG HOUSE – DEPARTMENT OF SOCIAL WORK	
21 ORLANDO HOUSE – DEPARTMENT OF PUBLIC HEALTH	

**SALAMONE
&
ASSOCIATES, P.C.**

CONSULTING ENGINEERS
118 North Plains Industrial Road
Wallingford, Connecticut 06492
Phone: (203) 281-6895 Fax: (203) 287-8728

SOUTHERN CONNECTICUT STATE UNIVERSITY FACILITIES PLANNING DEPARTMENT, OFFICE OF FACILITIES OPERATIONS, 615 FITCH STREET, HAMDEN, CT 06514 UNIVERSITY REPRESENTATIVE: PETER J. VISENTIN A.I.A TEL (203) 392-6055 FAX (203) 392-6058

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS. ANY DISCREPANCIES MUST BE REPORTED AND REVIEWED BY THE CONTRACTOR AND THE UNIVERSITY REPRESENTATIVE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD VERIFICATIONS AND COORDINATION REQUIRED FOR SHOP DRAWING ACCEPTANCE.
- EXISTING CONSTRUCTION TO REMAIN, WHICH IS REMOVED AND/OR ALTERED IN ORDER TO FACILITATE OR ACCESS OTHER WORK, SHALL BE REPAIRED AND FINISHED TO ITS ORIGINAL CONDITION PRIOR TO THOSE ALTERATIONS.
- PATCH ALL EXISTING FINISHES TO REMAIN THAT ARE DAMAGED AS A RESULT OF THE CONSTRUCTION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ABOVE CEILING WORK AND SHALL REVIEW THE COMPLETE PLANS IN ORDER TO ANTICIPATE AND RESOLVE POTENTIAL CONFLICTS WITH SYSTEMS AND STRUCTURE (NEW AND EXISTING) PRIOR TO THEIR INSTALLATION.
- AT ALL FLOOR AREAS TO RECEIVE NEW FINISHES, PROVIDE FLOOR FILLER FOR 100 PERCENT OF AREA, SEE SPECIFICATIONS.
- DEMOLISH ABANDONED TELEPHONE AND NETWORK CABLING ABOVE CEILINGS IN ALL AREAS (TO BE IDENTIFIED BY OWNER).
- PATCH HOLES WHERE FASTENINGS HAVE BEEN REMOVED AS PART OF THE DEMOLITION AT LOCATIONS WHERE THESE HOLES WILL REMAIN EXPOSED. PATCH TO MATCH ADJACENT EXISTING FINISH OR MATERIAL.
- FIRE-STOP ELECTRICAL CONDUIT PENETRATIONS OF RATED FLOOR AND WALL ASSEMBLIES. INSTALLATION ASSEMBLY SHALL PROVIDE AN APPROVED THROUGH PENETRATION THAT HAS BEEN LISTED IN ACCORDANCE WITH ASTM E814. SEAL AROUND CONDUIT WITH UL LISTED FIRE-STOPPING MATERIAL WITH A RATING EQUAL OR GREATER THAN THAT OF THE FLOOR CONSTRUCTION.
- ATTIC STOCK: REFER TO PROJECT MANUAL SECTION 017700 "CLOSE-OUT PROCEDURES" FOR REQUIREMENTS FOR ATTIC STOCK
- GAS METER IDENTIFICATION TAGS: CONTRACTOR TO PROVIDE PERMANENT STAINLESS STEEL S-HOOK FASTENINGS AND INSTALL OWNER SUPPLIED GAS METER TAGS FOR (16) METERS

BUILDING INFORMATION

EXISTING BUILDING INFORMATION:

EXISTING OCCUPANCY CLASSIFICATION:	GROUP GROUP R-3 (SEPARATED 2-UNIT TOWNHOUSES)
BUILDING HEIGHT AND AREA:	HEIGHT: 2 STOREY, 32 FEET TOTAL FLOOR AREA PER BUILDING: 9,165 SQ. FT. FLOOR AREA PER FLOOR 4,582 SQ. FT.
CONSTRUCTION DATE:	ORIGINAL 1986 – FIRE PROTECTION & ELECTRICAL UPGRADES 2005 WINDOW RENOVATIONS 2009
CONSTRUCTION TYPE:	TYPE VB (1 HOUR CMU FIRE PARTITION WALL SEPARATING DUPLEX UNITS, 1 HOUR HORIZONTAL SEPARATION BETWEEN FIRST FLOOR AND SECOND FLOOR UNITS)
FIRE PROTECTION AND ALARM:	EXISTING AUTOMATIC FIRE DETECTION AND ALARM SYSTEM EXISTING NFPA 13R AUTOMATIC SPRINKLER SYSTEM

LEVEL 1 ALTERATIONS WORK AREA INFORMATION:

WORK AREA:	APPROX. 8,190 SQ. FT. TOTAL FLOOR AREA PER BUILDING
WORK AREA USE GROUP:	GROUP R-3 – NO CHANGE
WORK AREA OCCUPANT COUNT:	32 PERSONS (BASED ON BEDROOM OCCUPANCY) TOTAL BUILDING

BUILDING CODE INFORMATION

APPLICABLE CODES:

2018 CONNECTICUT STATE FIRE SAFETY CODE (AS AMENDED)	2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FIRE CODE	2015 INTERNATIONAL PLUMBING CODE
2015 NFPA 101 LIFE SAFETY CODE	2015 INTERNATIONAL ENERGY CONSERVATION CODE
2018 STATE BUILDING CODE, STATE OF CONNECTICUT (AS AMENDED)	ICC/ANSI A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2015 INTERNATIONAL BUILDING CODE	2017 NATIONAL ELECTRICAL CODE (NFPA-70)
2015 INTERNATIONAL EXISTING BUILDING CODE	

APPLICABLE CODE SCOPE:

CONNECTICUT STATE BUILDING CODE (CSBC)	ALTERATIONS – LEVEL 1:
CONNECTICUT STATE FIRE SAFETY CODE (CSFSC)	701.2 CONFORMANCE – ALTERATIONS SHALL NOT RESULT IN LESS SAFE CONDITIONS THAN THOSE CONDITIONS PRIOR TO THE ALTERATIONS
2015 INTERNATIONAL BUILDING CODE (IBC) WITH CT AMENDMENT	702.1, 702.2, 702.3 BUILDING ELEMENTS AND MATERIALS INTERIOR FINISHES – NEW FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE IBC.
101.2 SCOPE EXCEPTION 2 – EXISTING BUILDINGS UNDERGOING ALTERATIONS PERMITTED TO COMPLY WITH THE INTERNATIONAL EXISTING BUILDING CODE PORTION OF 2018 CSBC	(AMD2018) 704.2 MINIMUM STANDARDS – MEANS OF EGRESS IN EXISTING BUILDINGS SHALL MEET THE REQUIREMENTS OF THE PROVISIONS OF PART IV OF THE 2018 CSFSC (NFPA 101 LIFE SAFETY CODE 2015)
2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)	702.6 (IEBC) MATERIALS AND METHODS – ALL NEW WORK SHALL COMPLY WITH THE REQUIREMENTS IN THE IBC, IECC, IMC AND IPC
(AMD2018) 101.4.2 – LEGALLY OCCUPIED EXISTING BUILDINGS SHALL BE PERMITTED TO CONTINUE WITHOUT CHANGE EXCEPT AS SPECIFICALLY COVERED IN THE IEBC OR THE 2018 CONNECTICUT STATE FIRE SAFETY CODE (CSFSC)	804.4.2 (IBC) INTERIOR FLOOR FINISH – NEW FLOOR FINISH SHALL COMPLY WITH THE DOC FF-1 "PILL TEST"
(AMD2018) 101.10 MEANS OF EGRESS – MEANS OF EGRESS IN EXISTING BUILDINGS SHALL MEET THE REQUIREMENTS OF THE PROVISIONS OF PART IV OF THE CSFSC (NFPA 101 LIFE SAFETY CODE 2015) FOR THE PROPOSED OCCUPANCY	

LIST OF DRAWINGS

C1	COVER SHEET, CODE SCOPE, LOCATION MAP, AND GENERAL NOTES
A1	SITE AND OVERALL BUILDING PLANS
A2	FIRST AND SECOND FLOOR TYPICAL UNIT DEMOLITION PARTIAL PLANS
A3	FIRST AND SECOND FLOOR TYPICAL UNIT NEW WORK PARTIAL PLANS
A4	DOOR AND FINISH SCHEDULES, FINISH HARDWARE DOOR AND FRAME TYPES
A5	BATHROOM AND KITCHEN TYPICAL UNIT ELEVATIONS, CASEWORK AND DETAILS
A6	DETAILS, SIGNAGE
A7	PARTIAL FIRST AND SECOND FLOOR PLANS EXISTING PHOTOS
DPME1	PARTIAL PLUMBING / MECHANICAL / ELECTRICAL DEMOLITION PLANS
P1	PARTIAL FIRST AND SECOND FLOOR PLUMBING PLANS
P2	PLUMBING SCHEDULES, NOTES, SYMBOLS AND ABBREVIATIONS
M1	PARTIAL FIRST AND SECOND FLOOR MECHANICAL PLANS
M2	PARTIAL ATTIC MECHANICAL PLAN
M3	MECHANICAL SCHEDULES, NOTES, DETAILS AND ABBREVIATIONS
E1	PARTIAL FIRST AND SECOND FLOOR ELECTRICAL PLANS
E2	ELECTRICAL SCHEDULES, DETAILS, SYMBOLS, NOTES AND ABBREVIATIONS

1 PLAN REVIEW 01/22/21 – OSBI OSFM



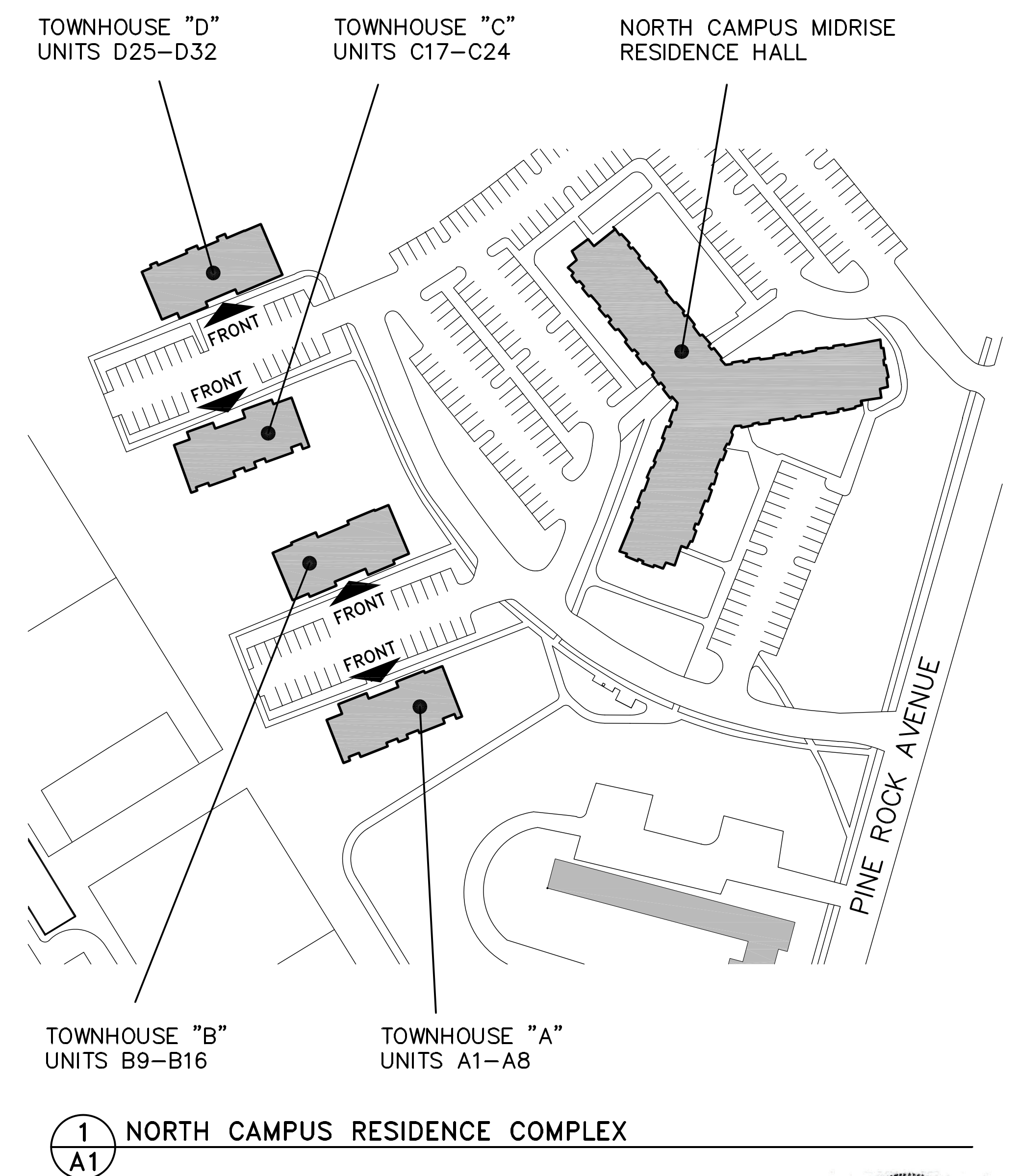
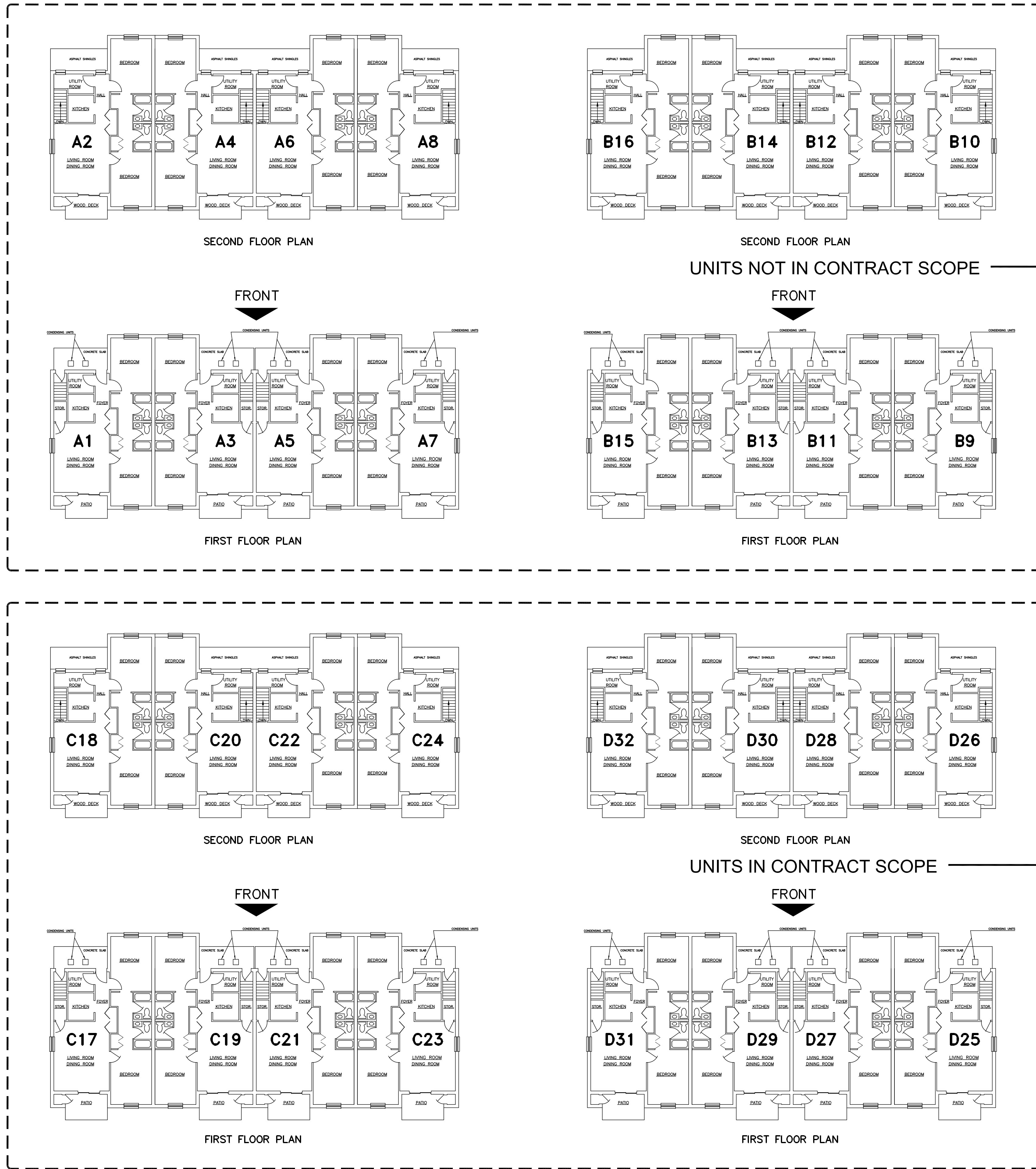
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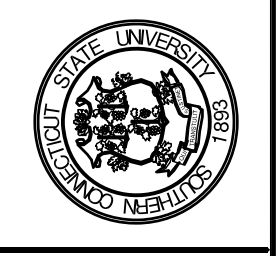
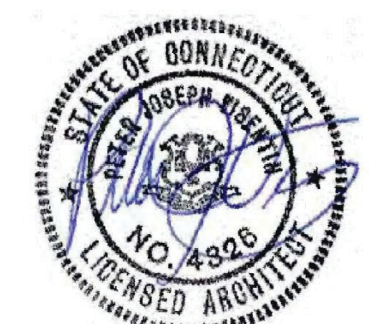
C1

24X36 Scale X" = XX'
 12X18 Scale X" = XX'



2 TOWNHOUSE BUILDING FLOOR PLANS
A1 SCALE: 1/16" = 1'-0"

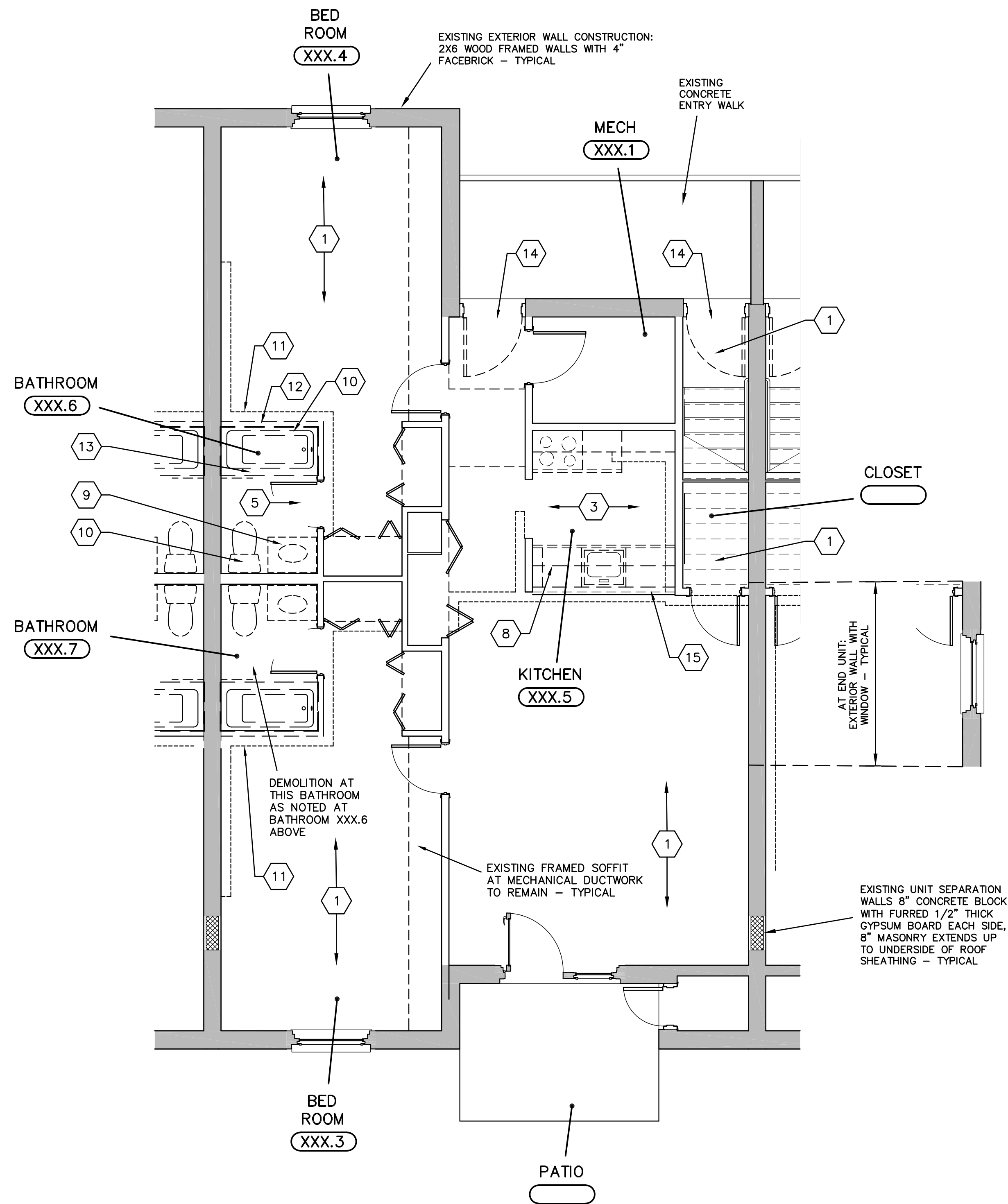
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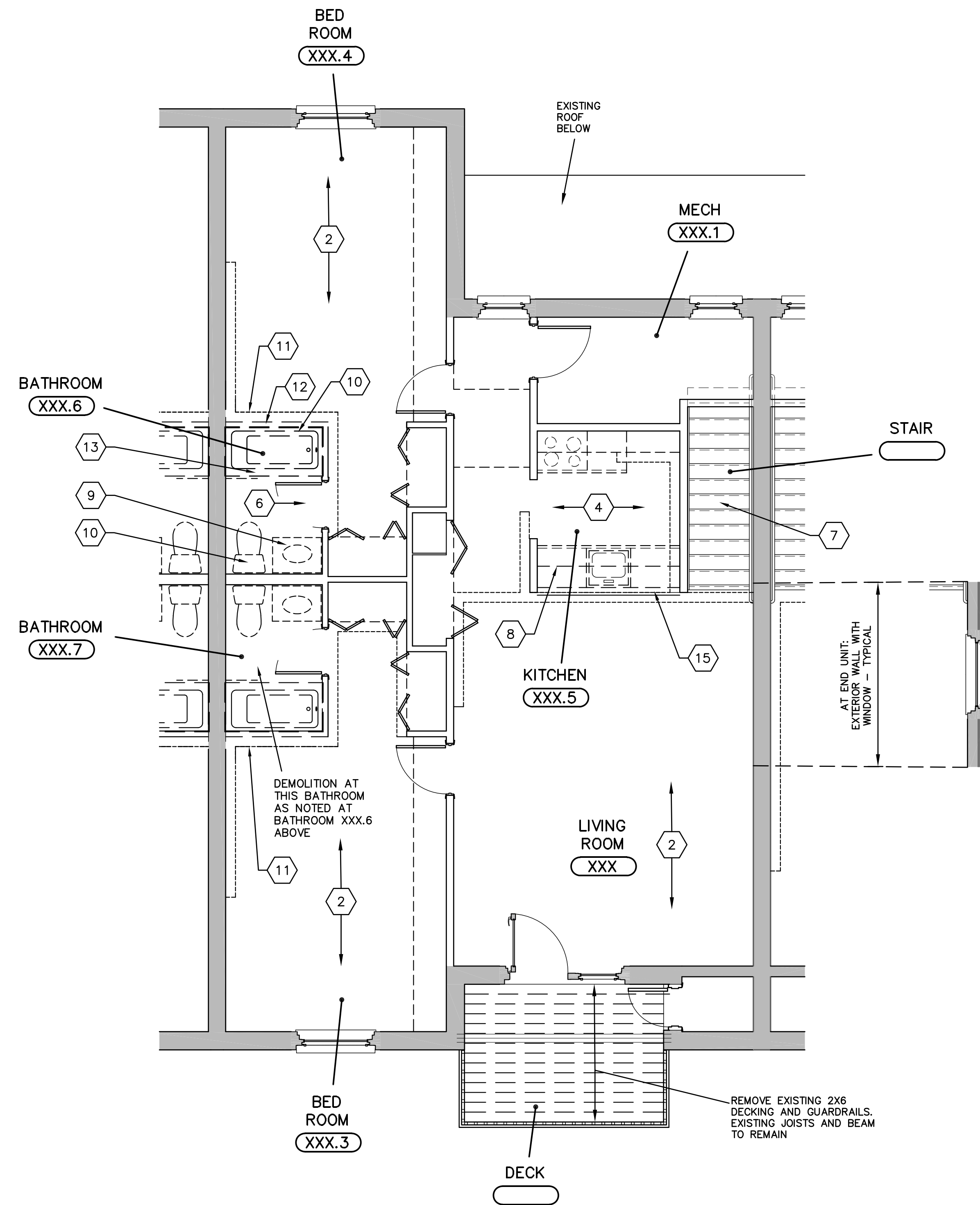
NORTH CAMPUS TOWNHOUSES
 C & D UNITS RENOVATIONS
 2021

DEMOLITION NOTES SEE FIRE PROTECTION, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES

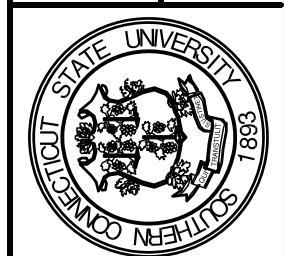
- 1 DEMOLISH EXISTING CARPETING (GLUE DOWN) AND WALL BASE. INSPECT EXISTING CONCRETE SLAB (4" THICK) ON GROUND FOR SOUNDNESS AND REPAIR AREAS AS NECESSARY TO PROVIDE A SOUND SUBSTRATE FOR NEW FLOOR FINISH
- 2 DEMOLISH EXISTING CARPETING (GLUE DOWN) AND WALL BASE. INSPECT EXISTING CONCRETE FILL (APPROX. 1 5/8" THICK) FOR SOUNDNESS AND REPAIR AREAS AS NECESSARY TO PROVIDE A SOUND SUBSTRATE FOR NEW FLOOR FINISH
- 3 DEMOLISH EXISTING SHEET VINYL (GLUE DOWN) AND WALL BASE. INSPECT EXISTING CONCRETE SLAB (4" THICK) ON GROUND FOR SOUNDNESS AND REPAIR AREAS AS NECESSARY TO PROVIDE A SOUND SUBSTRATE FOR NEW FLOOR FINISH
- 4 DEMOLISH EXISTING SHEET VINYL (GLUE DOWN) AND WALL BASE. INSPECT EXISTING CONCRETE FILL (APPROX. 1 5/8" THICK) FOR SOUNDNESS AND REPAIR AREAS AS NECESSARY TO PROVIDE A SOUND SUBSTRATE FOR NEW FLOOR FINISH
- 5 DEMOLISH EXISTING CERAMIC TILE (THIN-SET) AND CERAMIC TILE WALL BASE. INSPECT EXISTING CONCRETE SLAB (4" THICK) ON GROUND FOR SOUNDNESS AND REPAIR AREAS AS NECESSARY TO PROVIDE A SOUND SUBSTRATE FOR NEW FLOOR FINISH
- 6 DEMOLISH EXISTING CERAMIC TILE (THIN-SET) AND CERAMIC TILE WALL BASE. INSPECT EXISTING CONCRETE FILL (APPROX. 1 5/8" THICK) TO REMAIN FOR SOUNDNESS AND REPAIR AREAS AS NECESSARY TO PROVIDE A SOUND SUBSTRATE FOR NEW FLOOR FINISH
- 7 DEMOLISH EXISTING CARPETING AT STAIR TREADS AND RISERS. INSPECT EXISTING STAIR WOODWORK FOR SOUNDNESS AND RESET FASTENINGS AS NECESSARY TO PROVIDE A SOUND SUBSTRATE FOR NEW FINISH
- 8 CAREFULLY DEMOLISH EXISTING CASEWORK (BASE CABINETS, COUNTERS, SPLASHES AND WALL CABINETS) SO AS TO MINIMIZE DAMAGE TO ADJACENT WALLS AND CEILINGS TO REMAIN. DEMOLISH EXISTING RANGE AND DISHWASHER. PROTECT ELECTRICAL CIRCUITS TO REMAIN. SEE ELECTRICAL AND MECHANICAL DRAWINGS
- 9 DEMOLISH EXISTING LAVATORY VANITY AND SINK AND LAVATORY MIRROR/LIGHT FIXTURE. PROTECT ELECTRICAL CIRCUITS TO REMAIN. SEE ELECTRICAL AND MECHANICAL DRAWINGS
- 10 CAREFULLY DEMOLISH EXISTING TUB AND CERAMIC TILE WALL FINISH (TO 6'-0" ABOVE FLOOR) AND WATER CLOSET. PROTECT ELECTRICAL CIRCUITS AND PLUMBING ROUGH PIPING TO REMAIN. SEE ELECTRICAL AND MECHANICAL DRAWINGS
- 11 CAREFULLY REMOVE SPRINKLER PIPING SOFFIT AND CORNER CAP AT EXISTING TUB WALL AND RELOCATE EXISTING SPRINKLER PIPING AND SOFFIT TO NEW WALL LOCATION. PROVIDE NEW PIPING PENETRATION AT SEPARATION WALL TO CONNECT TO RELOCATED PIPING IN ADJACENT UNIT.
- 12 DEMOLISH EXISTING WOOD STUD AND GYPSUM BOARD WALL
- 13 DEMOLISH CEILING AND WALL FINISHES
- 14 CAREFULLY REMOVE EXISTING DOOR, FRAME AND THRESHOLD
- 15 AT HALF WALL BETWEEN KITCHEN AND LIVING ROOM: REMOVE APPROXIMATELY 2" OF TOP OF WALL FRAMING AND FINISH TO ALLOW NEW COUNTERTOP TO EXTEND OVER ROUGH OPENING



1 PARTIAL FIRST FLOOR DEMOLITION PLAN – TYPICAL UNIT
 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS, SHEET A1, FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS. SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES



2 PARTIAL SECOND FLOOR DEMOLITION PLAN – TYPICAL UNIT
 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS, SHEET A1, FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS. SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES



1 PLAN REVIEW 01/22/21

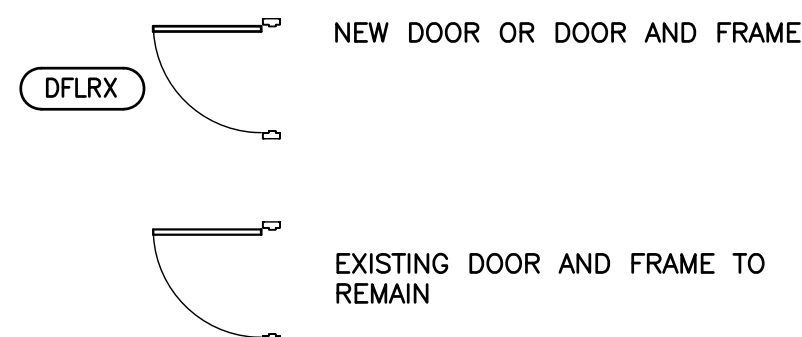


WALL CONSTRUCTION TYPE

WALL TYPE "A": 3 1/2" DOUGLAS FIR KILN-DRIED (STUD GRADE) STUD AT 16" O.C. WITH (1) LAYER OF 1/2" MOLD AND MOISTURE RESISTANT GYPSUM BOARD TYPE X FINISH AT BATHROOM SIDE, 1/2" THICK ABUSE RESISTANT GYPSUM BOARD AT BEDROOM SIDE. INSTALL MINERAL WOOL ACOUSTIC INSULATION IN STUD SPACES ADJACENT BEDROOM WALLS.

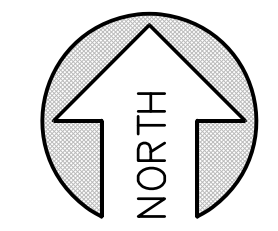
NOTE: ALL EXISTING WALLS AND CEILINGS IN BATHROOMS TO RECEIVE NEW 1/2" THICK MOISTURE RESISTANT GYPSUM BOARD

SYMBOL LEGEND

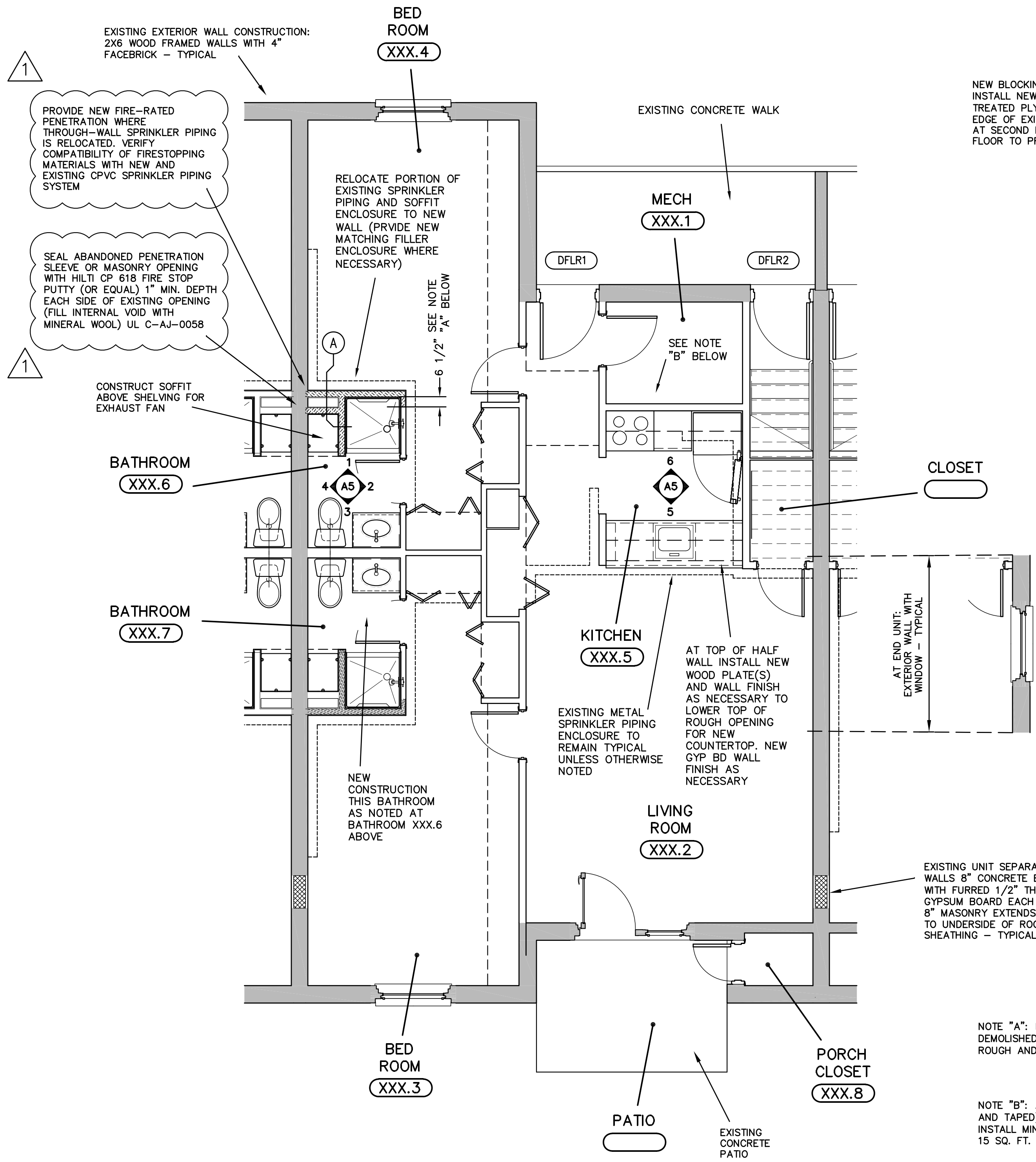


INTERIOR ELEVATION REFERENCE "AX" INDICATES SHEET ON WHICH ELEVATION IS LOCATED "X" INDICATES DETAIL NUMBER ON THAT SHEET

STANDARD OF RENOVATIONS QUALITY
A UNIT WILL BE SELECTED AND WILL BE FULLY RENOVATED, PRIOR TO THE START OF NEW WORK ON OTHER UNITS (DEMOLITION PERMITTED), AND THE ACCEPTED FINISHED UNIT WILL BE HELD AS THE STANDARD OF CONSTRUCTION QUALITY AGAINST WHICH OTHER WORK WILL BE EVALUATED AS ACCEPTABLE



PROJECT NORTH ARROW IS FOR FINISH SCHEDULE REFERENCE ONLY
(ACTUAL BUILDING AND UNIT NORTH DIRECTION VARIES)

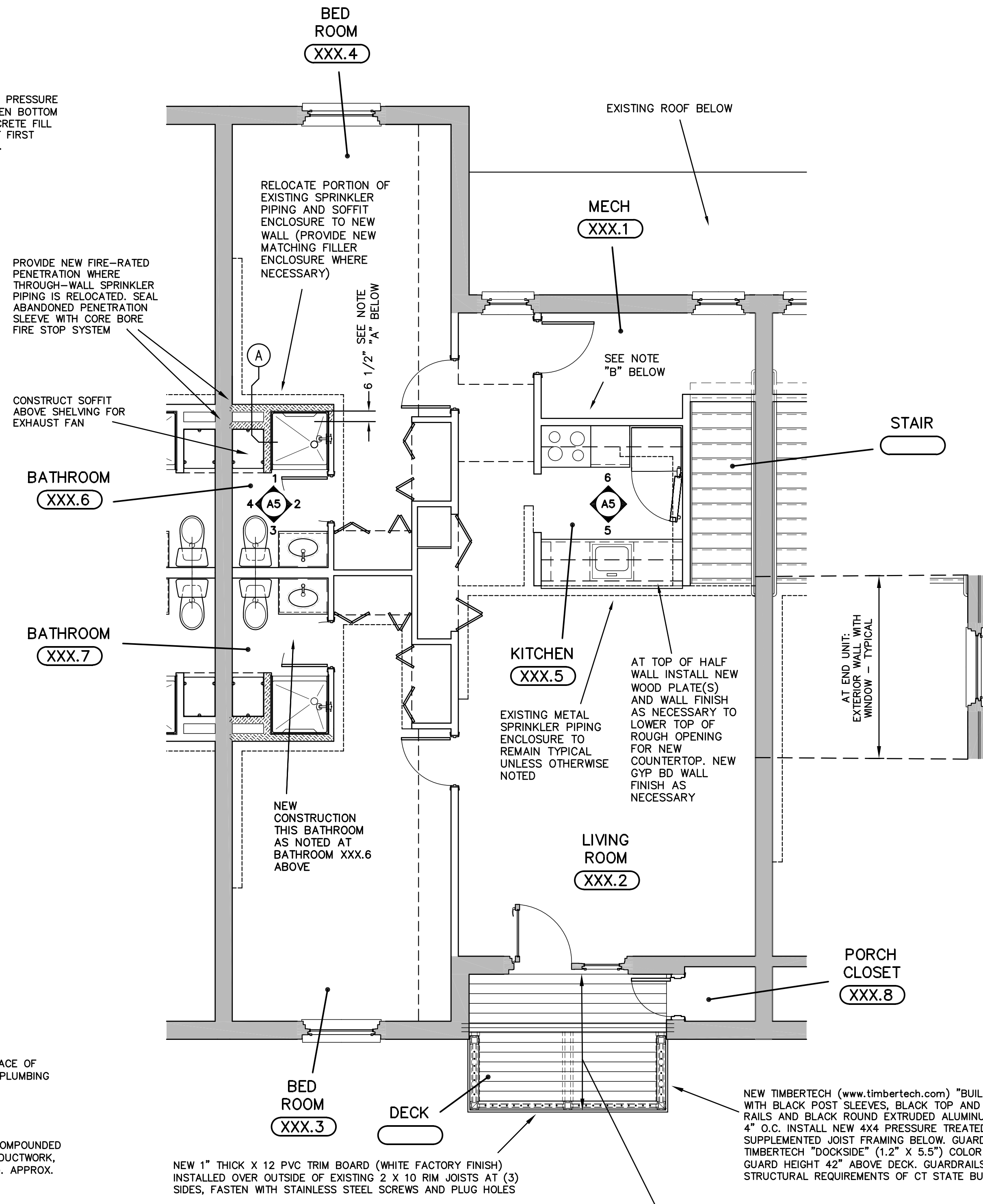


NEW BLOCKING AT BASE OF ALL INTERIOR WALLS: INSTALL NEW 1/2" THICK X APPROXIMATELY 1" HIGH PRESSURE TREATED PLYWOOD BLOCKING/FILLER AT GAP BETWEEN BOTTOM EDGE OF EXISTING WALL BOARD AND TOP OF GYP-CRETE FILL AT SECOND FLOOR AND TOP OF CONCRETE SLAB AT FIRST FLOOR TO PROVIDE FLUSH SURFACE FOR BASE TRIM.

NOTE "A": INSIDE FACE OF NEW STUD TO INSIDE FACE OF DEMOLISHED EXISTING STUD (VERIFY WITH SHOWER PLUMBING ROUGH AND EXISTING DOOR CASING LOCATIONS)

NOTE "B": AT EXISTING WALL FINISH (NOT FULLY COMPOUNDED AND TAPED) THAT IS CLOSE TO ADJACENT METAL DUCTWORK, INSTALL MINERAL WOOL INSULATION (3 1/2" THICK), APPROX. 15 SQ. FT. PER MECHANICAL ROOM

EXISTING DRYER VENT WALL CAP ABANDONMENT COVER: AT EACH BUILDING PROVIDE ONE 1/8" THICK X 8" SQUARE ALUMINUM PLATE (PAINTED TO MATCH ADJACENT FACE BRICK) FASTENED WITH MASONRY FASTENERS. SET IN SEALANT. INSTALL MINERAL WOOL INSULATION AT EXISTING DUCT OPENING AT WALL



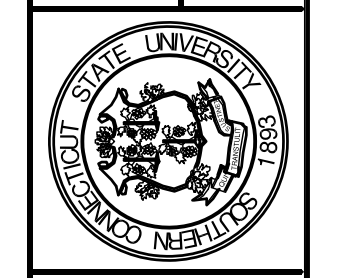
NEW 1" THICK X 12 PVC TRIM BOARD (WHITE FACTORY FINISH) INSTALLED OVER OUTSIDE OF EXISTING 2 X 10 RIM JOISTS AT (3) SIDES, FASTEN WITH STAINLESS STEEL SCREWS AND PLUG HOLES

NEW 5/4 X 6 PRESSURE TREATED WOOD DECK BOARDS, INSTALL PRO-TAC FLASHING TAPE AT TOP OF EXISTING WOOD JOISTS AND SECURE DECKING WITH PROTECH 316 STAINLESS STEEL DOUBLE THREAD SCREWS AT DECK BOARDS EDGES

NEW TIMBERTECH (www.timbertech.com) "BUILDER RAIL SYSTEM" WITH BLACK POST SLEEVES, BLACK TOP AND BOTTOM GUARD RAILS AND BLACK ROUND EXTRUDED ALUMINUM BALUSTERS AT 4" O.C. INSTALL NEW 4X4 PRESSURE TREATED POSTS DOWN TO SUPPLEMENTED JOIST FRAMING BELOW. GUARD TOP RAIL TO BE TIMBERTECH "DOCKSIDE" (1-2" X 5.5") COLOR - "KONA". GUARD HEIGHT 42" ABOVE DECK. GUARDRAILS TO COMPLY WITH STRUCTURAL REQUIREMENTS OF CT STATE BUILDING CODE

1 PARTIAL FIRST FLOOR PLAN - TYPICAL UNIT
SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE OVERALL BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS

2 PARTIAL SECOND FLOOR PLAN - TYPICAL UNIT
SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE OVERALL BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS



PLAN REVIEW 01/22/21

DOOR SCHEDULE															
NOTE: REMOVE EXISTING LOCKSETS AND TRIM FROM EXISTING DOORS TO BE DEMOLISHED AND RETURN TO THE OWNER															
NO.	DOOR TYPE	DOOR MATL.	SIZE (W X H)	THICK	FINISH	HARDWARE	ROOM NO.	ROOM NAME	LABEL	FRAME TYPE	FRAME MATL.	FRAME JAMB DEPTH	FRAME FINISH	JAMB DETAIL	REMARKS
DFLR1	TYPE A	METAL	3'-0" X 6'-8"	1 3/4"	NEW PAINT	1	N/A	ENTRY	NONE	1	METAL	8 3/4"	NEW PAINT	1/A4	CLOSER WITH HEAVY DUTY ARM, TEMPERED INSULATING GLASS
DFLR2	TYPE A	METAL	3'-0" X 6'-8"	1 3/4"	NEW PAINT	1	N/A	ENTRY	NONE	1	METAL	8 3/4"	NEW PAINT	1/A4	CLOSER WITH HEAVY DUTY ARM, TEMPERED INSULATING GLASS

DOOR FINISH HARDWARE SCHEDULE

FINISH HARDWARE SET 1: (DOOR: DFLR1 DOOR: DFLR2)

3 BUTTS	TA2714 4 1/2" X 4 1/2"	US26D	MCKINNEY
1 LOCKSET	8251 LE2L 130KB	US26D	SARGENT
1 CLOSER	TB 281-010	US26D	ROCKWOOD
1 FLOOR STOP	482	US26D	ROCKWOOD
1 KICK PLATE	K1050 8X34 4BE CSK TEK	US32D	ROCKWOOD
1 DOOR VIEWER	622	STAIN	ROCKWOOD
1 SADDLE THRESHOLD	2550AV	MILL	PEMCO
1 DOOR SHOE	225AV	MILL	PEMCO

DOOR AND FRAME CONSTRUCTION

HOLLOW METAL FRAMES:

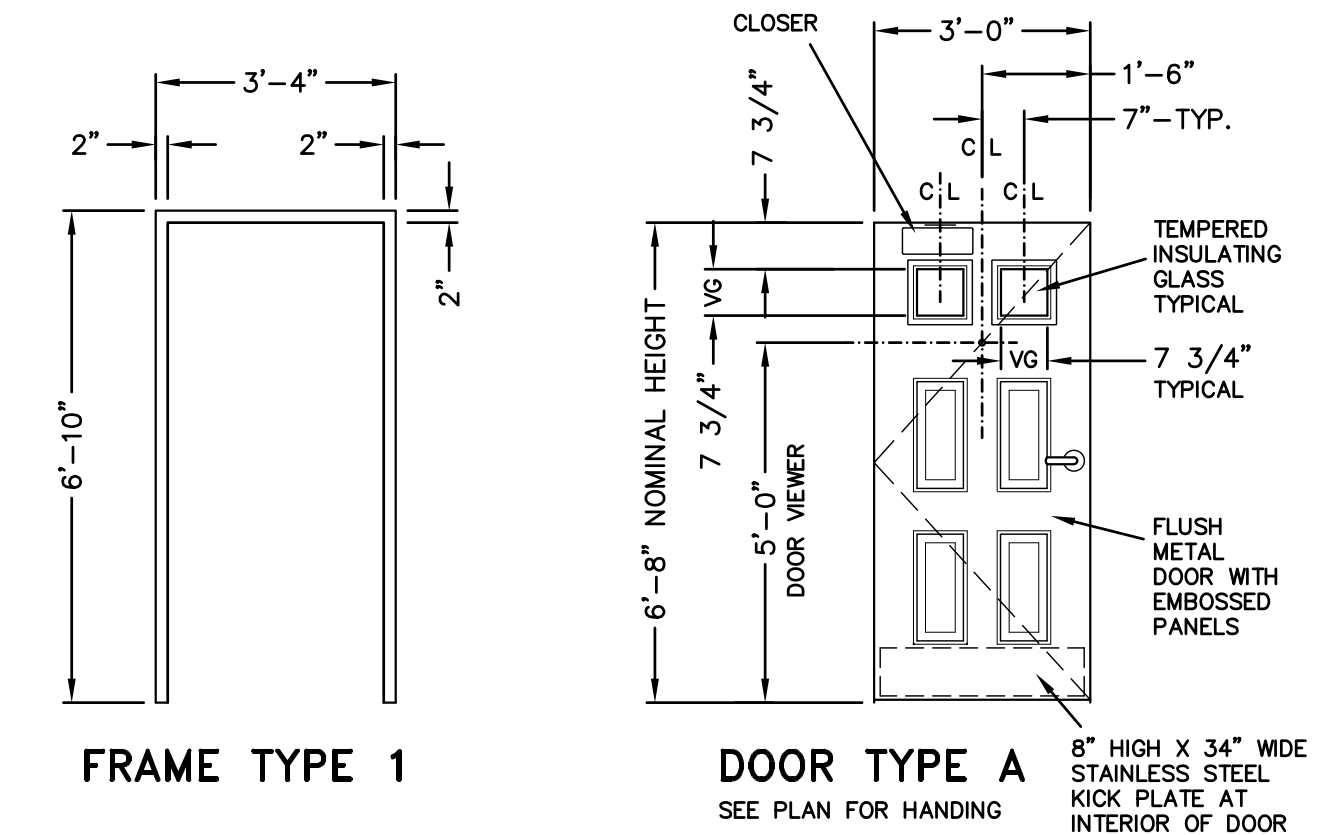
MANUFACTURER - BASIS OF DESIGN: CURRIES
 16 GAUGE COLD ROLLED STEEL DOUBLE-RABBET FRAMES WITH WELDED CORNERS
 PREPARE WITH HARDWARE (AS SCHEDULED) REINFORCEMENT
 JAMB DEPTH (SEE SCHEDULE) FOR EXISTING WALL
 FIELD VERIFY DOOR HANDING,
 FRAME PROFILE TO BE MASONRY WITH COUNTERSUNK SOFFIT ANCHOR BOLTS - M
 FRAMES TO BE FULL WELD CONSTRUCTION - FW
 WELDED STEEL SPACING ANCHOR BRACKETS - WSB
 FRAMES TO HAVE WEATHERSEAL KERF AND WEATHER SEAL MATERIAL
 FRAMES TO BE FACTORY PRIME PAINTED

METAL DOORS:

MANUFACTURER - BASIS OF DESIGN: CURRIES
 NEW FLUSH METAL DOORS:
 METAL DOORS TO BE MERCURY ENERGY EFFICIENT DOOR - 18 GAUGE COLD ROLLED STEEL WITH VERTICALLY STIFFENED POLYURETHANE CORE. DOOR ASSEMBLY U FACTOR - 0.38 (NFRC 102-2014) EMBOSSED PANEL DEIGN E609 (2 VISION LITE OVER 4 PANEL)
 LOCK AND HINGE EDGE TO HAVE CENTER SEAM CONTINUOUSLY WIRE WELDED - T
 DOORS TO BE REINFORCED FOR SCHEDULED HARDWARE
 VISION PANELS TO HAVE TYPE 10 POCKET FOR 5/8" THICK Loe2 TEMPERED INSULATING GLASS
 DOORS TO BE FACTORY PRIME PAINTED
 PROVIDE WELDED DOOR BOTTOM FILLER CAP - FILL AND FINISH SMOOTH

NOTE: IBC 2403.1 GLASS IDENTIFICATION - SAFETY GLAZING

IBC 2403.1 IDENTIFICATION. EACH PANE SHALL BEAR THE MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS OR GLAZING MATERIAL. THE IDENTIFICATION SHALL NOT BE OMITTED UNLESS APPROVED. EACH PANE OF TEMPERED GLASS, EXCEPT TEMPERED SPANDREL GLASS, SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION MARK SHALL BE ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT, ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED.



FRAME TYPE 1

DOOR TYPE A
 SEE PLAN FOR HANDING
 8" HIGH X 34" WIDE STAINLESS STEEL KICK PLATE AT INTERIOR OF DOOR

1 DOOR AND FRAME TYPES

A4 SCALE: 3/8" = 1'-0" SEE SHEET A6 FOR DOOR AND FRAME DETAILS

FLOOR SUBSTRATE PREPARATION NOTES

- IF THERE IS NO DAMAGED SUBFLOOR AT A SECOND FLOOR LOCATION, THE EXISTING GYP-CRETE FILL AT THE SECOND FLOOR SHALL BE REPAIRED WITH THE ARDEX PRODUCT SPECIFIED.
- BIDDER SHOULD ASSUME THAT 100% OF THE EXISTING CONCRETE SLAB AT THE FIRST FLOOR AND THE EXISTING GYP-CRETE FILLS AT THE SECOND FLOOR WILL HAVE TO BE REPAIRED.

FINISH SCHEDULE								
SEE SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION								
NEW CARPET TO COMPLY WITH "DOC FF-1 "pill test". NOTE: ALL SPRINKLER PIPING SOFFIT ENCLOSURES TO RECEIVE NEW PAINT, SEE FINISH NOTES BELOW								
ROOM	FLOOR	BASE	N WALL	E WALL	S WALL	W WALL	CEILING	REMARKS
XXX.1 MECHANICAL	NEW VCT	NEW 4" HIGH RUBBER BASE	PAINT EXISTING GYPSUM BOARD PT1, PAINT EXISTING WINDOW SILLS PT2, (EXISTING FACTORY FINISHED WINDOWS)	PAINT EXISTING GYPSUM BOARD PT1.	PAINT EXISTING GYPSUM BOARD PT1	PAINT EXISTING GYPSUM BOARD PT1 PAINT EXISTING WOOD DOOR AND FRAME PT2	PAINT EXISTING GYPSUM BOARD PT1	PAINT EXISTING CEILING ACCESS DOORS (WHERE OCCURS) PT2, INSTALL ARDEX LEVELING COMPOUND ON FLOOR SUBSTRATE, AT FIRST FLOOR CONCRETE SLAB TEST RELATIVE MOISTURE
XXX.2 LIVING	NEW LUXURY VINYL TILE	NEW 4" HIGH RUBBER BASE	PAINT EXISTING GYPSUM BOARD PT1, (AT FIRST FLOOR PAINT EXISTING CLOSET DOOR AND FRAME PT2)	PAINT EXISTING GYPSUM BOARD PT1, (AT END UNITS PAINT EXISTING WINDOW SILL PT2)	PAINT EXISTING GYPSUM BOARD PT1, (EXISTING FACTORY FINISHED WINDOWS)	PAINT EXISTING GYPSUM BOARD PT1, PAINT EXISTING CLOSET DOORS AND FRAMES PT2	PAINT EXISTING GYPSUM BOARD PT1	
XXX.3 BEDROOM	NEW LUXURY VINYL TILE	NEW 4" HIGH RUBBER BASE	PAINT NEW AND EXISTING GYPSUM BOARD PT1 PAINT EXISTING WOOD DOOR AND FRAME PT2	PAINT EXISTING GYPSUM BOARD PT1 PAINT EXISTING WOOD DOORS AND FRAMES PT2	PAINT EXISTING GYPSUM BOARD PT1, PAINT EXISTING WINDOW SILL PT2, (EXISTING FACTORY FINISHED WINDOWS)	PAINT GYPSUM BOARD PT1, PAINT METAL WINDOW FRAMES PT3, NEW CASEWORK.	PAINT EXISTING GYPSUM BOARD PT1	
XXX.4 BEDROOM	NEW LUXURY VINYL TILE	NEW 4" HIGH RUBBER BASE	PAINT EXISTING GYPSUM BOARD PT1, PAINT EXISTING WINDOW SILL PT2, (EXISTING FACTORY FINISHED WINDOWS)	PAINT EXISTING GYPSUM BOARD PT1 PAINT EXISTING WOOD DOORS AND FRAMES PT2	PAINT NEW AND EXISTING GYPSUM BOARD PT1 PAINT EXISTING WOOD DOOR AND FRAME PT2	PAINT EXISTING GYPSUM BOARD PT1 PAINT EXISTING WOOD DOOR AND FRAME PT2	PAINT EXISTING GYPSUM BOARD PT1	
XXX.5 KITCHEN	NEW LUXURY VINYL TILE	NEW 4" HIGH RUBBER BASE	PAINT EXISTING GYPSUM BOARD PT1, NEW FACTORY FINISHED CASEWORK	PAINT EXISTING GYPSUM BOARD PT1	PAINT EXISTING GYPSUM BOARD PT1, NEW FACTORY FINISHED CASEWORK	PAINT EXISTING GYPSUM BOARD PT1, NEW STAINLESS STEEL SIDESPLASH AT RANGE	PAINT EXISTING GYPSUM BOARD PT1	INSTALL ARDEX LEVELING COMPOUND ON FLOOR SUBSTRATE
XXX.6 BATHROOM	NEW SHEET VINYL FLOORING	NEW INTEGRAL 4" HIGH COVED SHEET VINYL BASE	PAINT NEW GYPSUM BOARD EXPT1, FACTORY FINISHED SHOWER	PAINT NEW GYPSUM BOARD EXPT1, PAINT DOOR AND FRAME PT2	PAINT NEW GYPSUM BOARD EXPT1, NEW FACTORY FINISHED SHOWER	PAINT NEW GYPSUM BOARD EXPT1	PAINT NEW GYPSUM BOARD PT1	PAINT NEW CEILING ACCESS DOOR AT FIRST FLOOR PT2. INSTALL ARDEX LEVELING COMPOUND ON FLOOR SUBSTRATE,
XXX.7 BATHROOM	NEW SHEET VINYL FLOORING	NEW INTEGRAL 4" HIGH COVED SHEET VINYL BASE	PAINT NEW GYPSUM BOARD EXPT1, NEW FACTORY FINISHED CASEWORK	PAINT NEW GYPSUM BOARD EXPT1, PAINT DOOR AND FRAME PT2	PAINT NEW GYPSUM BOARD EXPT1, FACTORY FINISHED SHOWER	PAINT NEW GYPSUM BOARD EXPT1	PAINT NEW GYPSUM BOARD PT1	PAINT NEW CEILING ACCESS DOOR AT FIRST FLOOR PT2. INSTALL ARDEX LEVELING COMPOUND ON FLOOR SUBSTRATE
XXX.8 PORCH CLOSET	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT EXISTING GYPSUM BOARD PT1	PAINT EXISTING GYPSUM BOARD PT1	PAINT EXISTING GYPSUM BOARD PT1	PAINT GYPSUM BOARD PT1, PAINT EXISTING METAL DOOR AND FRAME PT3 (INTERIOR AND EXTERIOR)	PAINT EXISTING GYPSUM BOARD PT1	
CLOSETS	NEW LUXURY VINYL TILE	NEW 4" HIGH RUBBER BASE	PAINT EXISTING GYPSUM BOARD PT1, PAINT DOORS, FRAMES AND EXISTING RODS AND SHELVING PT2	PAINT EXISTING GYPSUM BOARD PT1, PAINT DOORS, FRAMES AND EXISTING RODS AND SHELVING PT2	PAINT EXISTING GYPSUM BOARD PT1, PAINT DOORS, FRAMES AND EXISTING RODS AND SHELVING PT2	PAINT EXISTING GYPSUM BOARD PT1, PAINT DOORS, FRAMES AND EXISTING RODS AND SHELVING PT2	PAINT EXISTING GYPSUM BOARD PT1	
STAIR-ENTRY	NEW CARPETING	NEW 4" HIGH RUBBER BASE AT LANDING	PAINT NEW AND EXISTING GYPSUM BOARD PT1, PAINT METAL DOOR AND FRAME PT3	PAINT EXISTING GYPSUM BOARD PT1, PAINT EXISTING DOOR AND FRAME PT2 (AS OCCURS)	N/A	PAINT EXISTING GYPSUM BOARD PT1, PAINT EXISTING DOOR AND FRAME PT2 (AS OCCURS)	PAINT EXISTING GYPSUM BOARD PT1	

FINISH NOTES

- PAINT: NOTE: AT EXISTING WALL AND CEILING FINISH TO RECEIVE PAINT - FILL AND SAND MINOR HOLES TEARS AND SIMILAR DAMAGE PRIOR TO PAINTING

PT1:
 ALL NEW AND EXISTING GYPSUM BOARD WALL SURFACES (EXCEPT BATHROOMS, SEE EXPT1 BELOW) TO RECEIVE NEW PAINT.
 PRIMER - SHERWIN WILLIAMS B28W02600 PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER
 TOPCOAT - (2) COATS SHERWIN WILLIAMS B20W04651 PROMAR 400 ZERO VOC INTERIOR LATEX

WALLS TOPCOAT COLOR: TO MATCH BENJAMIN MOORE NO. 969 "SOFT CHAMOIS" - SHEEN: EGG-SHELL IN ALL ROOMS EXCEPT SEMI-GLOSS IN KITCHENS AND PORCH CLOSETS
 CEILINGS TOPCOAT COLOR: TO MATCH BENJAMIN MOORE NO. AC-40 "GLACIER WHITE" - SHEEN: EGG-SHELL IN ALL ROOMS EXCEPT SEMI-GLOSS IN KITCHENS AND PORCH CLOSETS

PT2:
 EXISTING WOOD DOORS, FRAMES AND CASINGS AND INTERIOR WOOD WINDOW STOOLS AND APRONS:
 TOPCOAT: (2) COATS SHERWIN WILLIAMS B34W00851 PROCLASSIC INTERIOR WATERBASED ACRYLIC/ALKYD
 TOPCOAT COLOR: TO MATCH BENJAMIN MOORE NO. 996 "BAJA DUNES" - SHEEN: SEMI-GLOSS.

PT3:
 NEW METAL DOORS AND FRAMES:
 PRIMER - FACTORY PRIME
 TOPCOAT: (2) COATS SHERWIN WILLIAMS B53W02151 PRO INDUSTRIAL WATERBASED ACRYLIC/ALKYD URETHANE
 TOPCOAT COLOR (INTERIOR AND EXTERIOR): "WHITE" - SHEEN: SEMI-GLOSS

EXPT1:
 NEW GYPSUM BOARD WALL FINISH IN BATHROOMS TO RECEIVE EPOXY WALL FINISH SYSTEM. BASIS-OF-DESIGN: DUR-A-WALL HP PLUS WALL SYSTEM. MULTI-STEP WALL COATING SYSTEM WITH URETHANE-MODIFIED ACRYLIC LATEX PRIMER, NO-SAG EPOXY BASE COAT AND (2) COATS OF DUR-A-WALL HP TOPCOAT. MANUFACTURER - DUR-A-FLEX, INC. 95 GOODWIN STREET, EAST HARTFORD, CT 06108 (860) 528-9838. www.dur-a-flex.com. FOLLOW MANUFACTURER'S EXTENSIVE INSTALLATION INSTRUCTIONS FOR PREPARATION OF SUBSTRATE AND FOR DUR-A-WALL HP PRIMER. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS (EXCEPT AS NOTED BELOW FOR NAP ROLLER)

TOPCOAT COLOR: "MELTING SNOW", TOPCOAT SHEEN: EGG-SHELL - NOTE: PRODUCT TO BE APPLIED WITH 1/4" NAP ROLLER TO PROVIDE SMOOTHER SURFACE TEXTURE

STAIR RAILINGS:
 AT EXISTING STAIR RAILINGS OF SECOND FLOOR UNITS - REMOVE EXISTING CLEAR FINISH, SAND AND APPLY (2) COATS OF CLEAR POLYURETHANE FINISH

EXISTING METAL SPRINKLER ENCLOSURES:

AT EXISTING METAL SPRINKLER ENCLOSURES (APPROX. 10" HIGH FASCIA AND 10" WIDE SOFFIT) AND AT NEW ENCLOSURE SECTIONS THAT ARE INSTALLED DUE TO MODIFICATIONS - PREPARE EXISTING SURFACES FOR NEW PAINT. SAND (TO REMOVE SMOOTH FINISH FOR PAINT BOND) AND SOLVENT CLEAN EXISTING PAINT AT EXPOSED SURFACES OF ENCLOSURES. SPOT PRIME AS NEEDED. TOPCOAT: (2) COATS SHERWIN WILLIAMS B53W02151 PRO INDUSTRIAL WATERBASED ACRYLIC/ALKYD URETHANE. TOPCOAT COLOR: TO MATCH WALL COLOR, SHEEN: LOW-SHEEN

2) NEW LUXURY VINYL TILE FLOORING:

MOHAWK GROUP - STYLE: "SELECT STEP II COLLECTION" CR703 SELECT STEP II WOOD - COLOR: W838 "RUSTIC ELEGANCE" - 20 MIL WEAR LAYER, OVERALL THICKNESS 3 MM
 FIRST FLOOR INSTALLATIONS OVER CONCRETE SLAB ON GROUND TO USE MOHAWK M99 ADHESIVE
 MOHAWK STAIR NOSING ACCESSORY (AT TOP RISER OF STAIRS AT SECOND FLOOR UNITS) - NO. CRS11 1/8" COMMERCIAL NOSING - COLOR: NO. 084 "DEEP CHESTNUT"

3) NEW SHEET VINYL FLOORING (AT BATHROOMS)

MOHAWK GROUP - STYLE: "SERENITY RESILIENT COLLECTION" C2022 EPHEMERAL - COLOR: NO. 969 "RELAXATION" - 20 MIL WEAR LAYER, OVERALL THICKNESS 3 MM
 INSTALL FLOORING WITH INTEGRAL COVED BASE (CRA11 COVE STICK) WITH HEAT WELDED JOINTS, SEE DETAIL 1 SHEET A6.
 FIRST FLOOR INSTALLATIONS OVER CONCRETE SLAB ON GROUND TO USE MOHAWK M99 ADHESIVE
 PROVIDE TARKETT NO. CTA-32-N WHEELED TRAFFIC TRANSITION COLOR: NO. 32 "PEBBLE" AT BATHROOM DOOR

4) NEW CARPETING:

MOHAWK INDUSTRIES - STYLE: GL154 "FACULTY REMIX" 26 OZ. TUFTED TEXTURED MULTI-COLORED LOOP, MEETS ASTM E648 CLASS 1 AND ASTM 662 LESS THAN 450, 12 FOOT WIDE ROLLS
 COLOR: NO. 885 "LATEST SLATE"

5) NEW VINYL COMPOSITION TILE (AT MECHANICAL ROOMS)

TARKETT - VINYL COMPOSITION FLOOR TILE 12" X 12" THICKNESS 1/8"
 FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADHESIVE. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR TESTING RELATIVE HUMIDITY IN CONCRETE SLAB ON GROUND
 INSTALLATION (ASTM F2170 OR ASTM 1869) AND FOR TESTING pH VALUE
 COLOR: NO. 1365 "DK TAUPE"
 PROVIDE TARKETT NO. CTA-32-N WHEELED TRAFFIC TRANSITION COLOR: NO. 32 "PEBBLE" AT MECHANICAL ROOM DOOR

6) NEW 4" RUBBER BASE (COVE)

MOHAWK GROUP ELEMENTAL EDGES 4" HIGH COVE RUBBER BASE
 COLOR: AT LVT AND CARPETING AREAS - NO. 084 "DEEP CHESTNUT", AT MECHANICAL ROOMS - NO.084 "GREIGE"

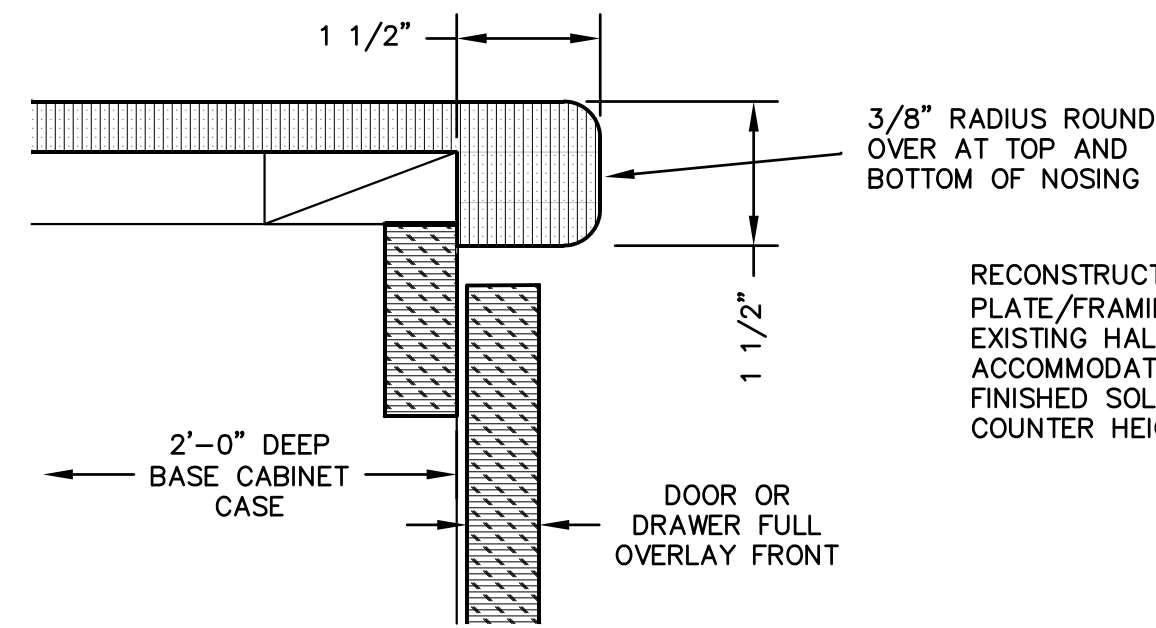


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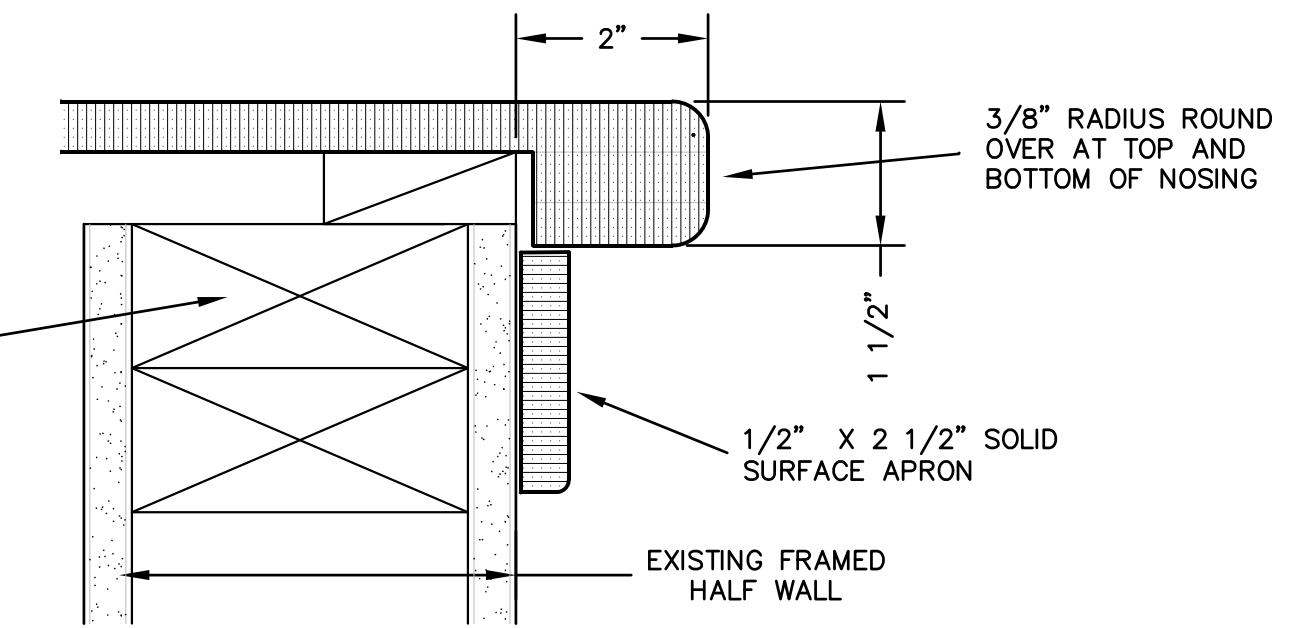


BATHROOM ACCESSORIES

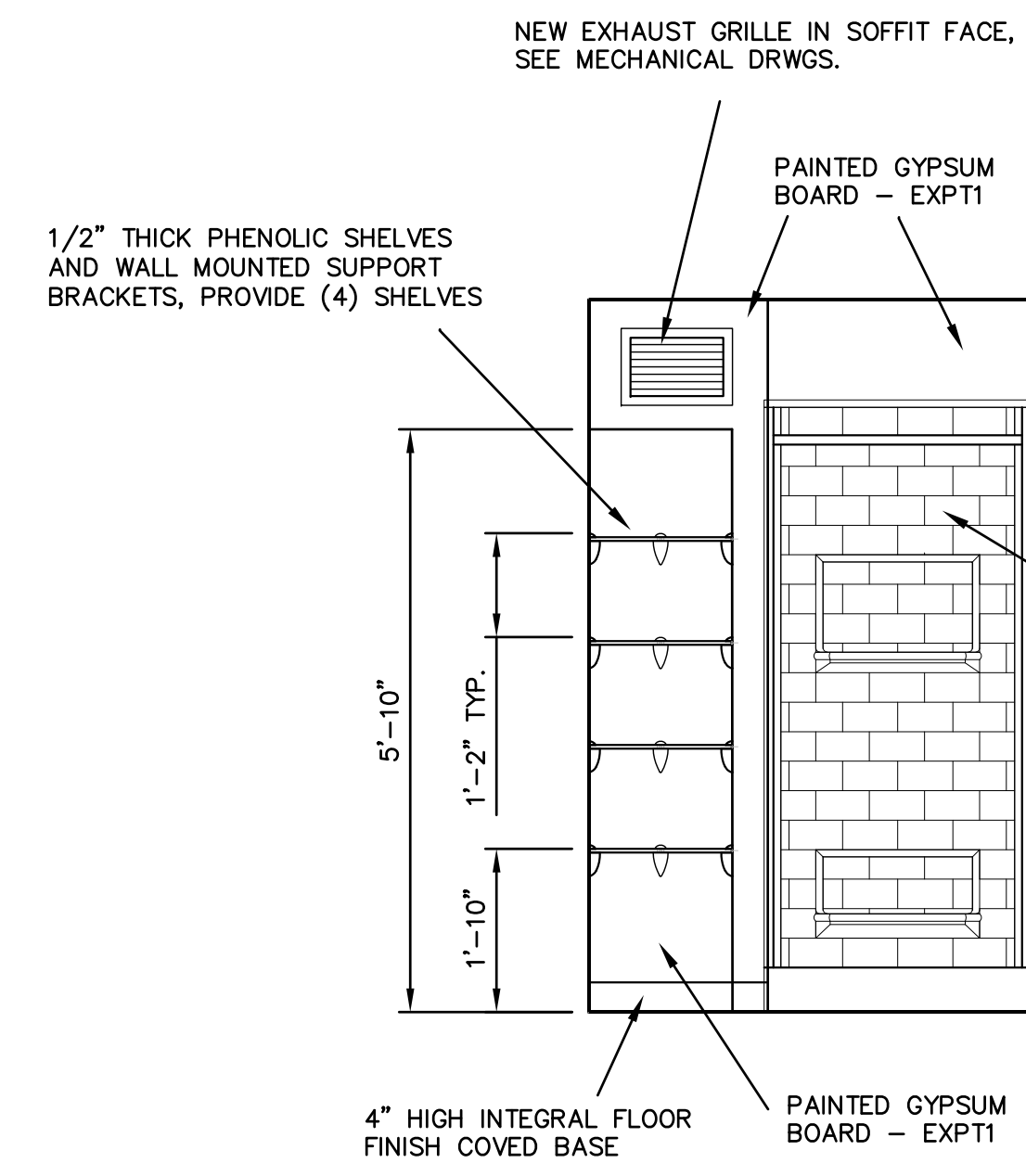
- (A) TOILET PAPER DISPENSER: BRADLEY MODEL 505 - SURFACE MOUNTED DIECAST ZINC WITH COPPER AND NICKEL POLISHED CHROME PLATED FINISH. 5" DIAMETER PAPER ROLL SIZE STANDARD CORE SIZE. PUSH BUTTON RELEASE OF SUPPORT ARMS FOR REFILLING
- (B) HEAVY DUTY TOWEL BAR: GAMCO MODEL TB-3 - 18" LONG WITH 18 GAUGE TYPE 304 STAINLESS STEEL 1" DIAMETER TUBE BAR. SATIN CHROME SOLID BRASS POSTS WITH EXPOSED STAINLESS STEEL SCREW FASTENING
- (C) HEAVY DUTY TOWEL BAR: GAMCO MODEL TB-3 - 24" LONG WITH 18 GAUGE TYPE 304 STAINLESS STEEL 1" DIAMETER TUBE BAR. SATIN CHROME SOLID BRASS POSTS WITH EXPOSED STAINLESS STEEL SCREW FASTENING
- (D) NEW DOOR STOP - ROCKWOOD 432W CONCAVE RUBBER DOOR STOP, COLOR WHITE, SELF-ADHESIVE. MOUNT AT BOTTOM OF STRIKE STILE OF DOOR TO MEET SHOWER CURB
- (E) NEW WALL MOUNTED MIRROR: BOBRICK B-1658-1830, 18" WIDE X 30" HIGH MIRROR (TYPE 430 STAINLESS STEEL CHANNEL FRAME WITH 1/4" TEMPERED GLASS) WITH CONCEALED SCREW LOCKING MOUNTING.
- (F) SHOWER CURTAIN AND ROD: SHOWER RODS AND SHOWER CURTAINS WILL PROVIDED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR



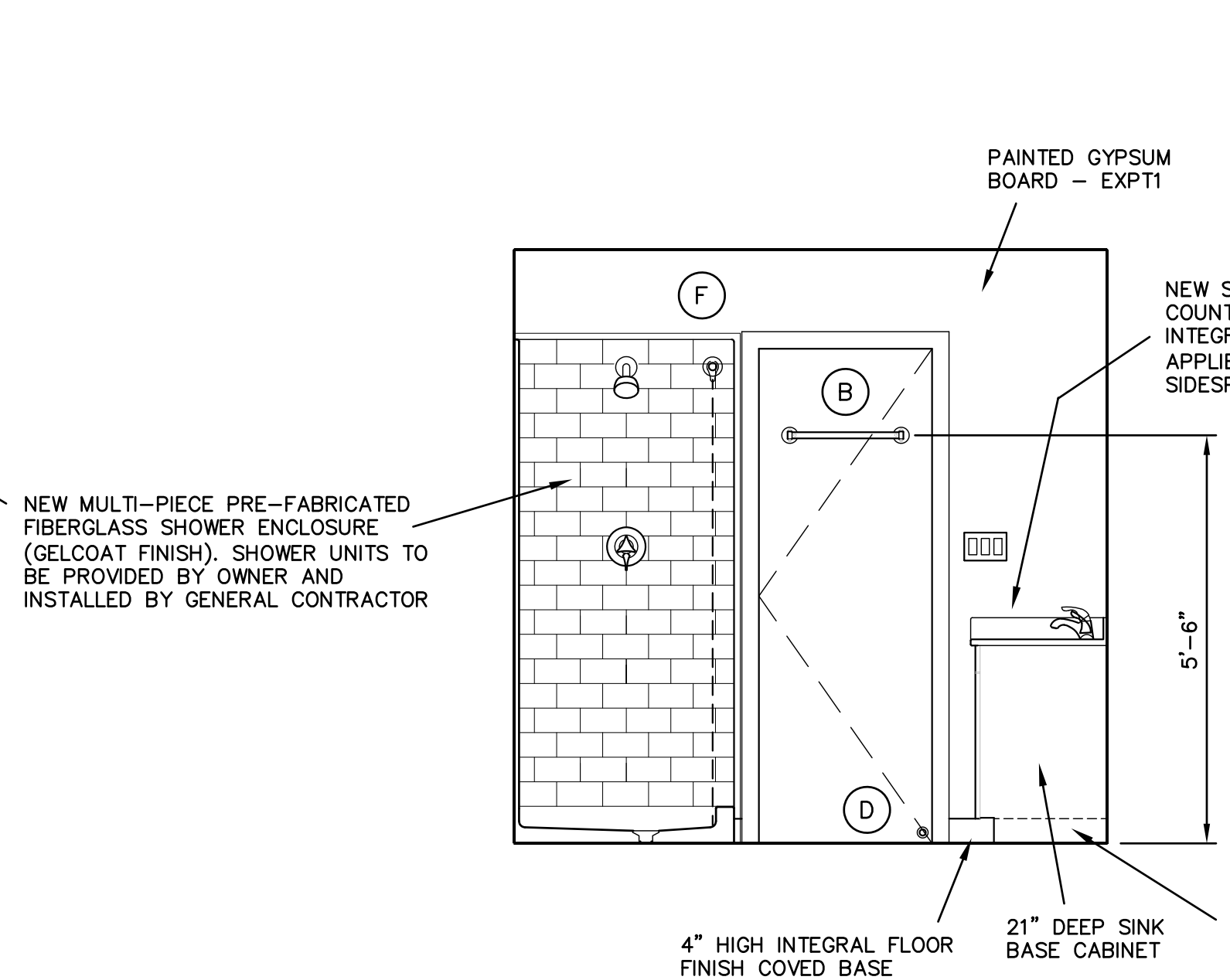
7 COUNTERTOP NOSING AT CASEWORK
A5 SCALE: 3" = 1'-0"



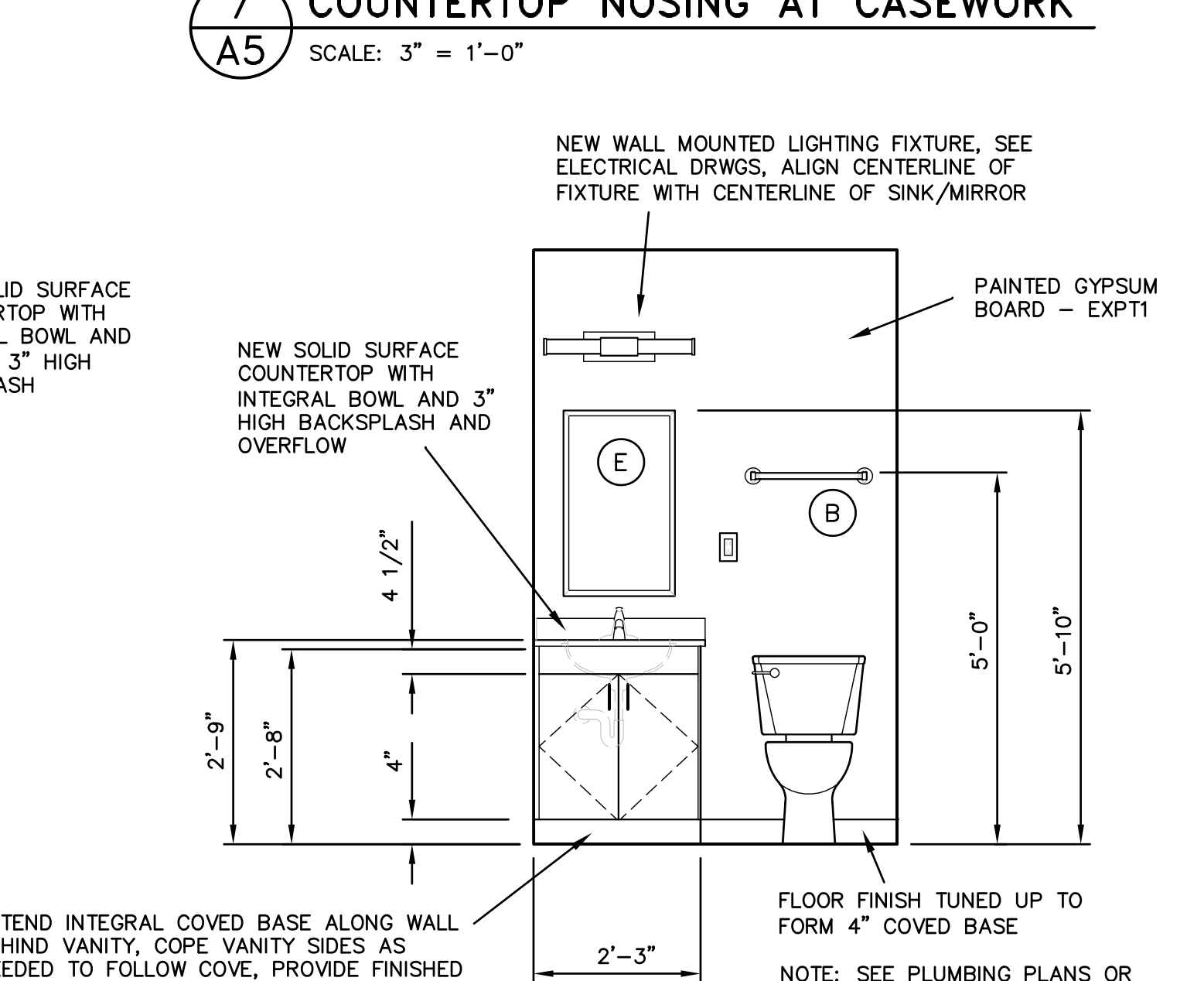
8 COUNTERTOP NOSING AT HALF WALL
A5 SCALE: 3" = 1'-0"



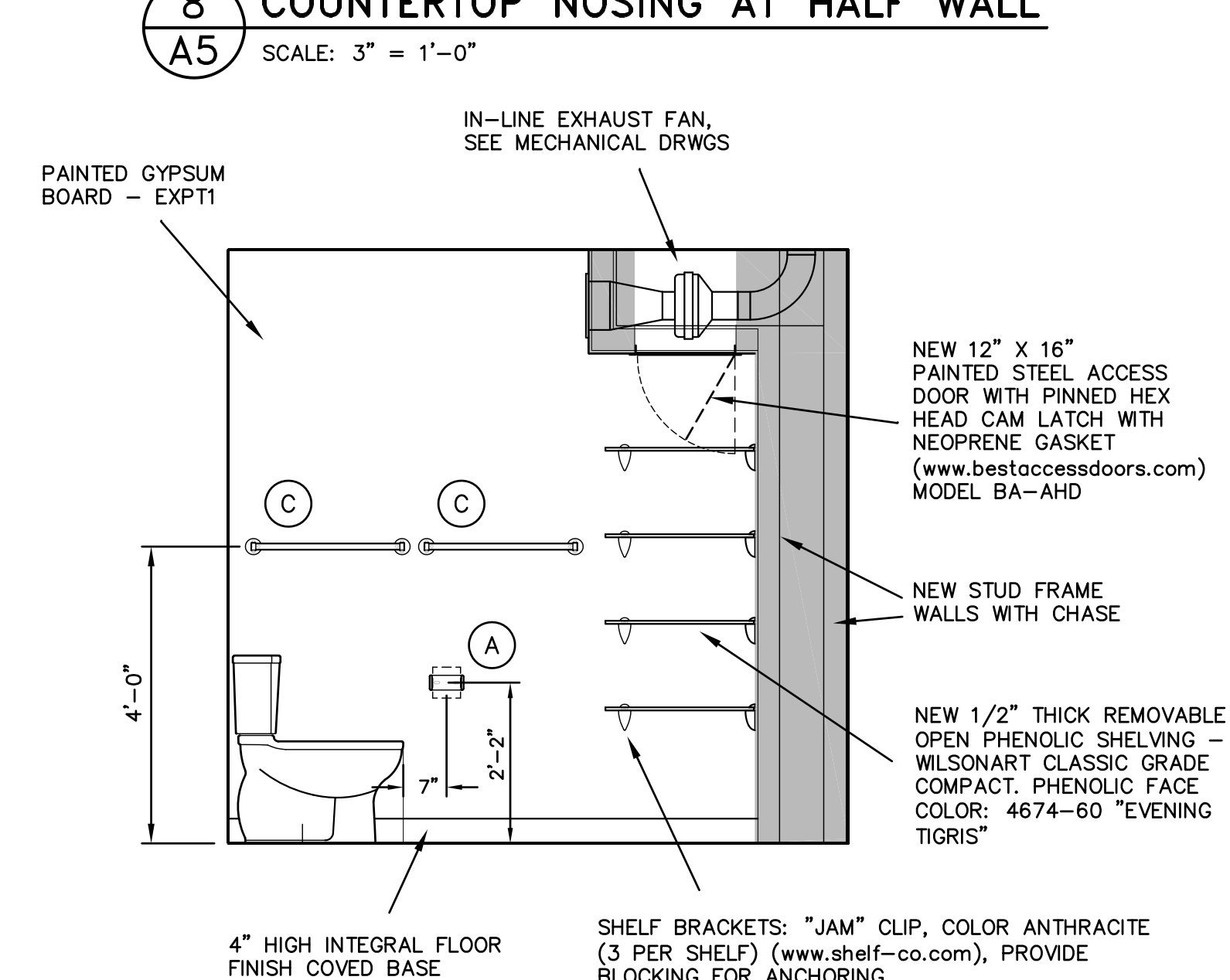
1 ELEVATION 1 BATHROOM
A5 SCALE: 1/2" = 1'-0"



2 ELEVATION 2 BATHROOM
A5 SCALE: 1/2" = 1'-0"



3 ELEVATION 3 BATHROOM
A5 SCALE: 1/2" = 1'-0"



4 ELEVATION 4 BATHROOM
A5 SCALE: 1/2" = 1'-0"

KITCHEN AND LAVATORY CASEWORK CONSTRUCTION:

BASIS OF DESIGN: ADVANTA CABINETS ALLWOOD CALIBRA II SERIES WITH MOCHA MAPLE STAIN FINISH www.advantacabinets.com

ALL CONSTRUCTION TO MEET HUD SEVERE USE STANDARDS

(NOTE: USE OF PARTICLE BOARD, FLAKE BOARD, OR HARDBOARD IN THE CONSTRUCTION OF CABINETS AND COUNTERTOPS SHALL NOT BE ACCEPTED)

CONSTRUCTION STYLE: HARDWOOD FLUSH DOORS AND DRAWER FRONTS FULL OVERLAY ON FACE FRAME AS FOLLOWS:

- 1) 3/4" THICK KILN DRIED HARDWOOD FACE FRAMES
- 2) 3/4" THICK FLUSH HARDWOOD VENEER DRAWER AND DOOR FRONTS WITH EASED OUTER EDGE
- 3) 1/2" THICK PLYWOOD CORE END PANELS DADOED TO RECEIVE TOPS AND BOTTOMS
- 4) 1/2" THICK PLYWOOD BOTTOM AND UNEXPOSED BACK PANELS
- 5) DRAWERS TO HAVE 3/8" THICK MINIMUM VENEER PLYWOOD BOTTOMS DADOED AND GLUED INTO ALL FOUR SIDES OF DRAWER BOX
- 6) EPOXY COATED STEEL DRAWER GUIDES, 100 LB. MIN. CAPACITY, TWO SIDE-MOUNTED SLIDES PER DRAWER
- 7) WALL CABINET HANGING RAILS SHALL RUN CONTINUOUSLY ALONG TOP AND BOTTOM OF CABINET AND BE A MINIMUM OF 1/2" X 2 7/8" MULTI-PLY HARDWOOD PLYWOOD

WALL AND BASE CABINETS:

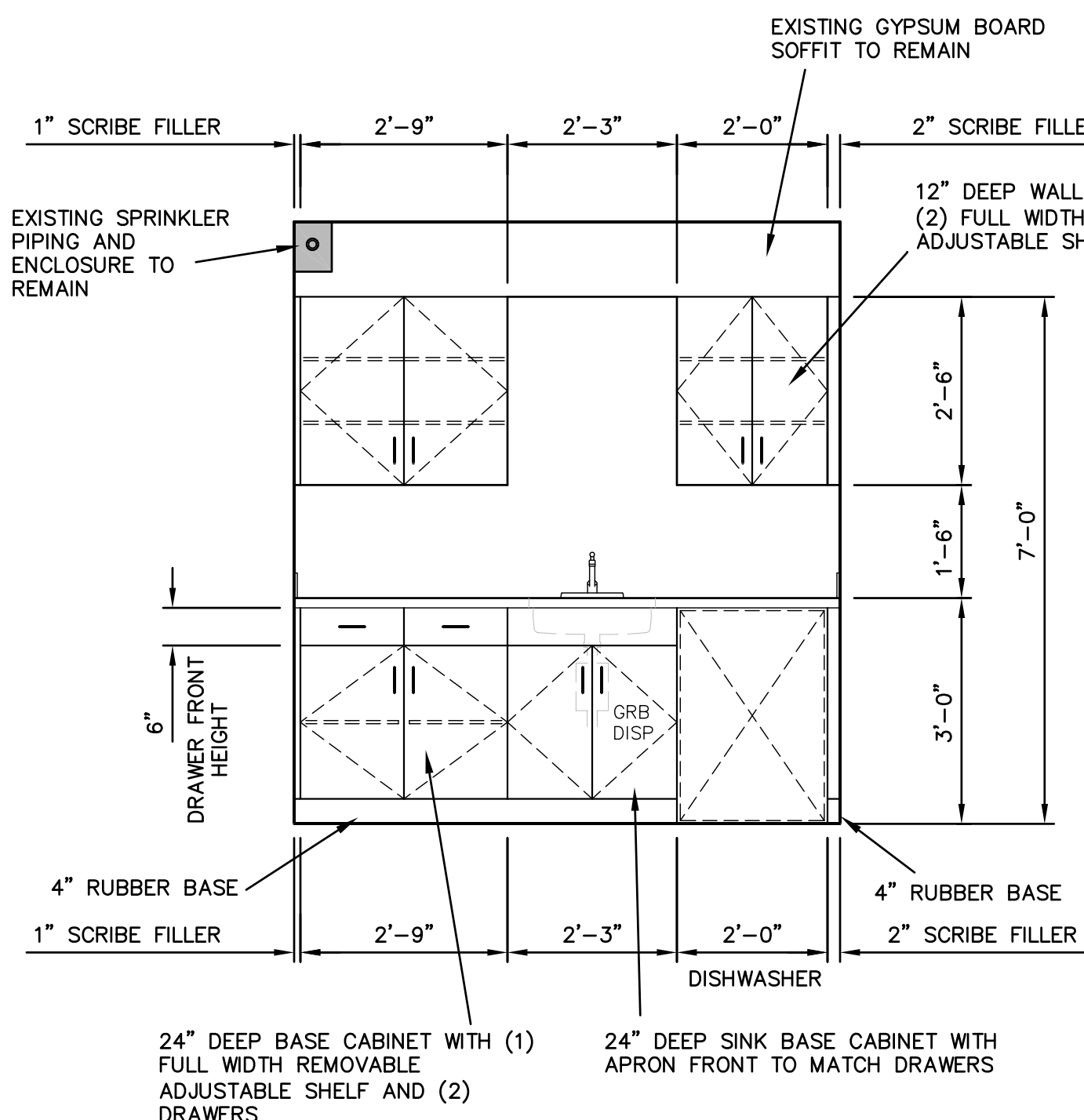
- 1) 3/4" THICK FACE FRAMES WITH 1 1/2" WIDE STILES AND 1 3/4" WIDE RAILS AND 3" WIDE CENTRAL VERTICAL AT PAIR DOORS. MEMBERS GLUED AND DOWELED. FACE FRAME MEMBERS TO BE DADOED TO RECEIVE ENDS BOTTOMS AND TOPS
- 2) 4" DEEP X 4" HIGH TOE KICK
- 3) BASE CABINETS INSTALLED ON CONCRETE SLABS TO BE SHIMMED WITH PHENOLIC OR OTHER HIGH DENSITY NON WATER ABSORBENT MATERIAL (NO UNTREATED WOOD MATERIALS SHOULD COME IN CONTACT WITH CONCRETE SLABS)
- 4) SHELVES TO BE 5/8" HARDWOOD VENEER WITH PLYWOOD CORE WITH HARDWOOD VENEER FRONT EDGE BANDING
- 5) CONCEALED HINGES TO BE HIGH QUALITY SELF CLOSING AS MANUFACTURED BY BLUM OR EQUAL
- 6) PROVIDE 3/4" THICK X 4" HIGH VANITY BASE SOLID WOOD PANEL
- 7) FINISHED FILLERS SHALL BE SCRIBED TO FIT EXISTING CONDITIONS. PROVIDE BOTTOM FILLERS AT WALL CABINETS
- 8) DOOR AND DRAWER PULLS TO BE 6" X 7/16" DIAMETER HOLLOW STAINLESS STEEL PULLS SIMILAR TO ELEMENTS "NAPLES" NO. 1545S OR EQUAL
- 9) VERIFY THAT SUFFICIENT EXISTING WALL BLOCKING EXISTS FOR MOUNTING AND PROVIDE ADDITIONAL BLOCKING AS NECESSARY
- 10) PROVIDE CUT-OUTS AT CABINET BACKS FOR ACCESS TO PLUMBING PIPING AND ELECTRICAL DEVICE(S) MOUNTED IN BASE CABINETS
- 11) PROVIDE FINISHED BACK PANELS AND END PANELS WHERE UPPER CABINETS ARE INSTALLED TOWARDS LIVING ROOM

KITCHEN COUNTERTOPS: BASIS OF DESIGN: CORIAN, COLOR - LINEN

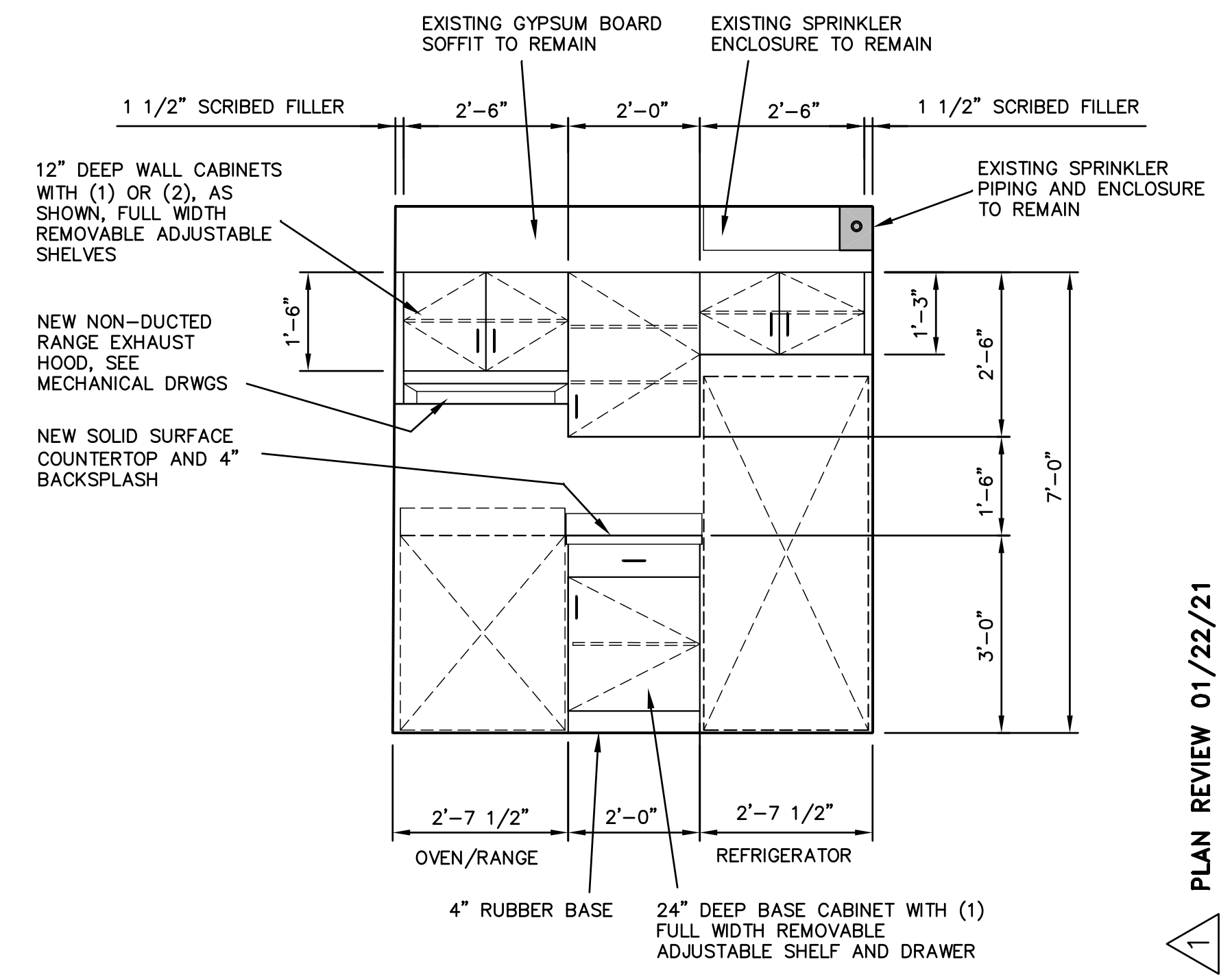
- 1) COUNTERTOPS AND BACK AND SIDESPLASHES TO BE POLYMER SOLID SURFACING WITH 1 1/2" HIGH SQUARE (EASED) NOSING (1 1/2" PROJECTION BEYOND FACE FRAME OF BASE CABINET)
- 2) SOLID SURFACING TO BE SELECTED FROM MANUFACTURER'S STANDARD SELECTIONS
- 3) COORDINATE COUNTERTOP PREPARATION FOR UNDERMOUNT STAINLESS STEEL SINK AND CORING FOR FAUCET
- 4) WHERE COUNTERTOP EXTENDS OVER HALF-WALL AT LIVING ROOM PROVIDE 2" NOSING EXTENSION BEYOND WALL FACE AND INSTALL 1/2" THICK X 2 1/2" HIGH SOLID POLYMER APRON BELOW NOSING. PROVIDE 2" HORNS AT EACH END OF NOSING EXTENSION SCRIBED TO WALL. SEE DETAIL ABOVE

LAVATORY COUNTERTOPS: BASIS OF DESIGN: CORIAN, COLOR - LINEN INTEGRAL SINK

- 1) COUNTERTOP AND BACKSPLASH TO BE POLYMER SOLID SURFACING WITH 1" HIGH SQUARE (EASED) NOSING WITH AN INTEGRAL SINK BOWL (WITH OVERFLOW) AND 4" CENTERSET CORING FOR FAUCET
- 2) SOLID SURFACING TO BE SELECTED FROM MANUFACTURER'S STANDARD SELECTIONS
- 3) PROVIDE MATCHING SIDESPLASH ACCESSORY
- 4) SIZE: 28" WIDE X 22" DEEP



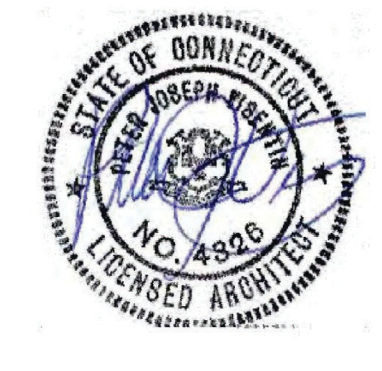
5 ELEVATION 5 KITCHEN CASEWORK
A5 SCALE: 1/2" = 1'-0"

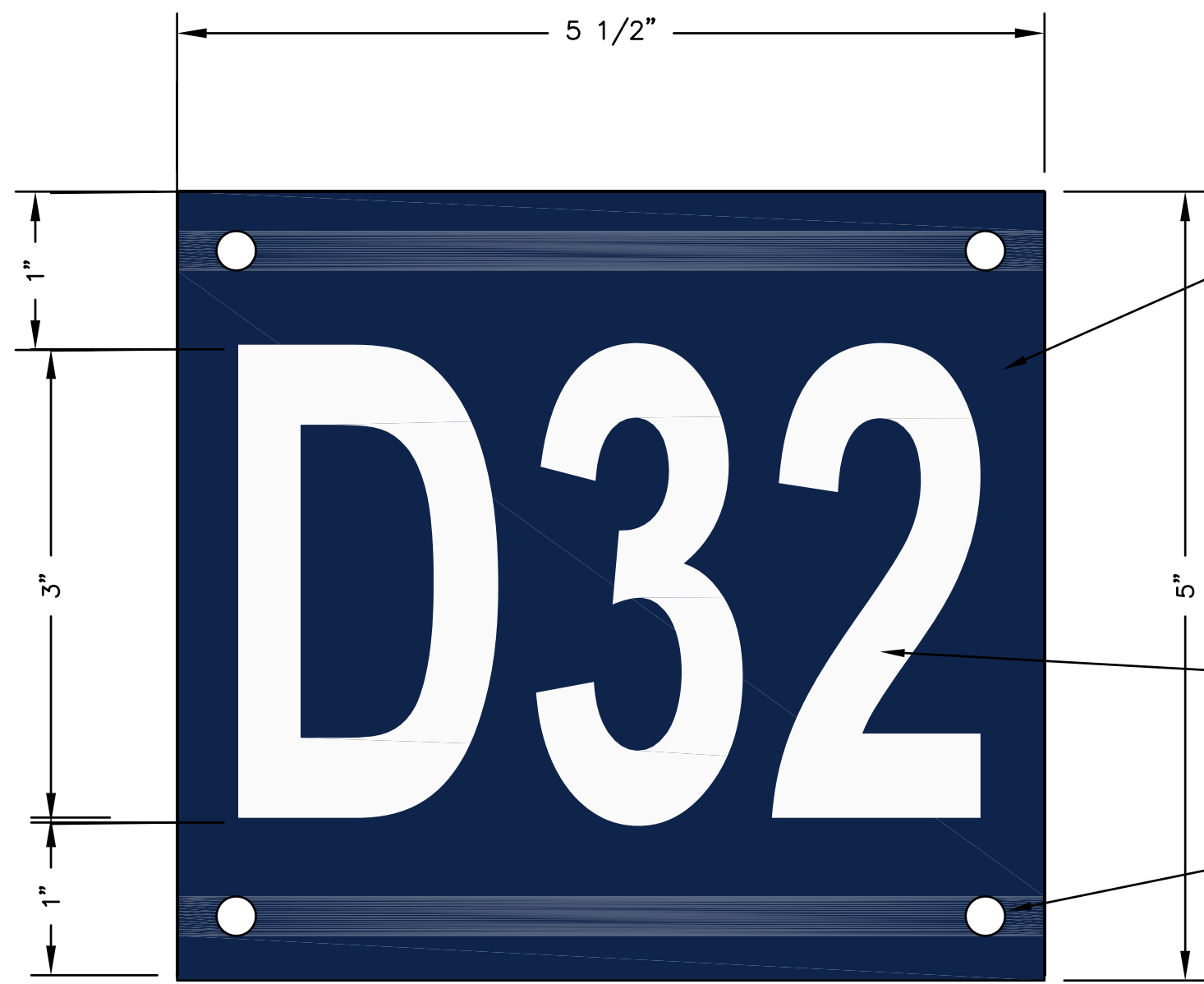


6 ELEVATION 6 KITCHEN CASEWORK
A5 SCALE: 1/2" = 1'-0"

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CADD. NO. SCSU-2021-01
SHEET DATE: DECEMBER 22, 2020
DRAWING TITLE: BATHROOM AND KITCHEN TYPICAL UNIT ELEVATIONS, CASEWORK AND DETAILS
A5





1/8" THICK PAINTED ALUMINUM PLATE (PAINT EXPOSED EDGES OF PLATE TO MATCH)

PROVIDE QUANTITY (16) INDIVIDUAL UNIT SIGNS (LAYOUT AS SHOWN ABOVE) WITH THE FOLLOWING NUMBER/LETTER COMBINATIONS: C17, C18, C19, C20, C21, C22, C23, C24, D25, D26, D27, D28, D29, D30, D31, D32

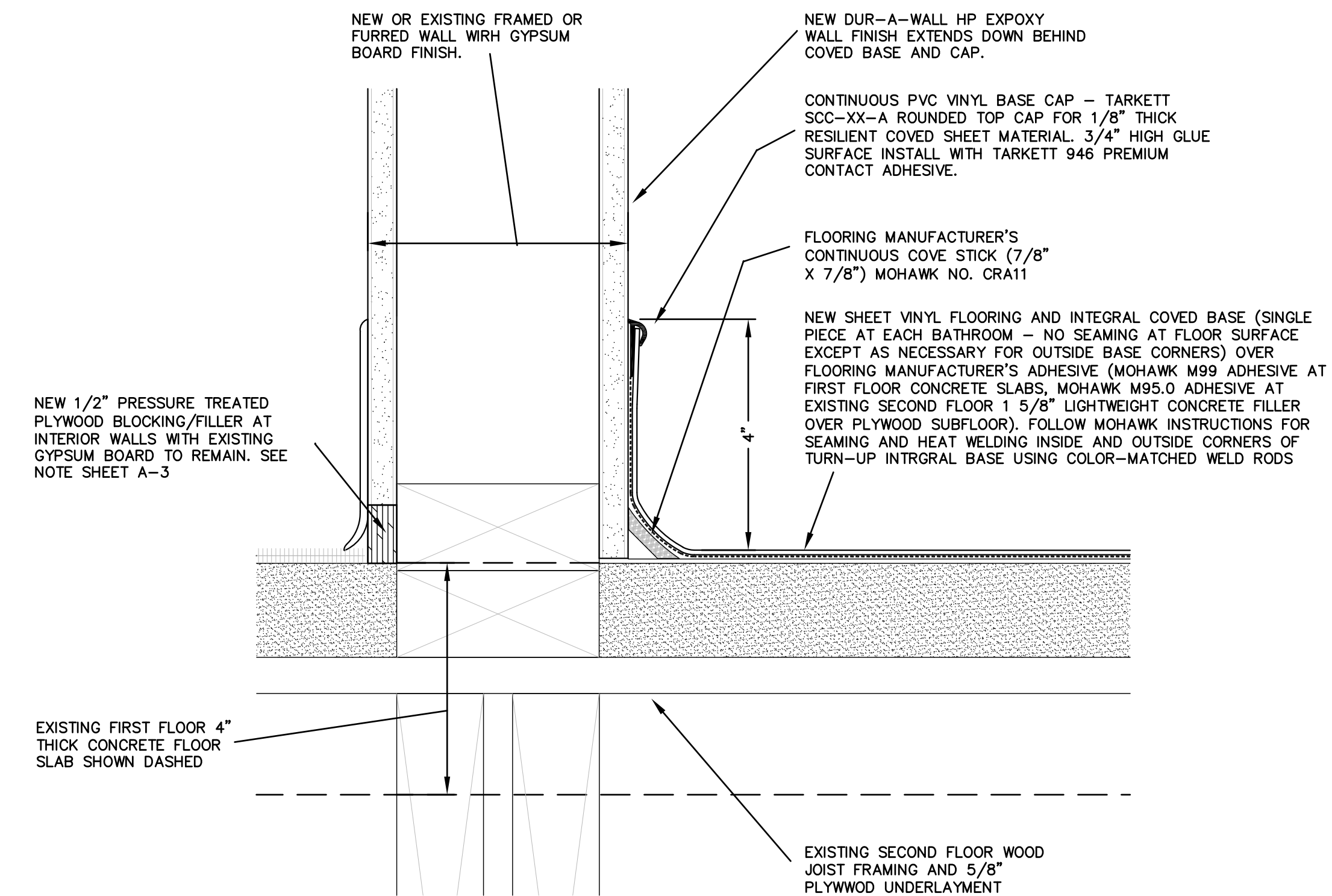
SIGN SUPPLIER: SIGNLITE INC., 6 CORPORATE DRIVE, NORTH HAVEN, CT 06473 - CONTACT: KEN DETUJO 203-392-6799

WHITE REFLECTIVE LETTERS ON MATTHEWS "MIDNITE BLUE" (MP13839) FIELD.

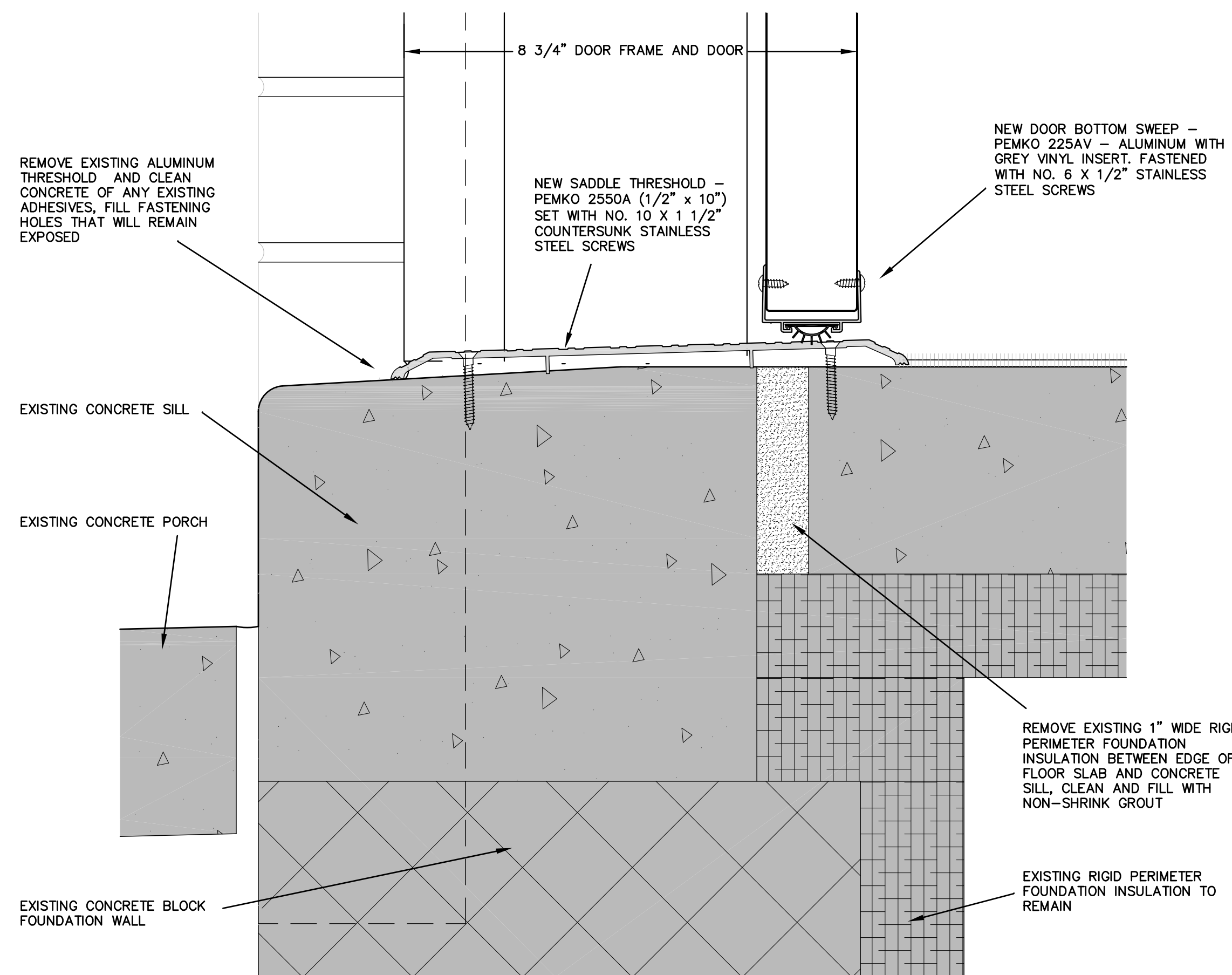
TAMPER-PROOF MOUNTED SCREWS FASTENED TO EXISTING FACE BRICK - (4) LOCATIONS. PAINT EXPOSED FASTENING HEADS TO MATCH SIGN

LETTER/NUMBER FONT: HELVETICA CONDENSED

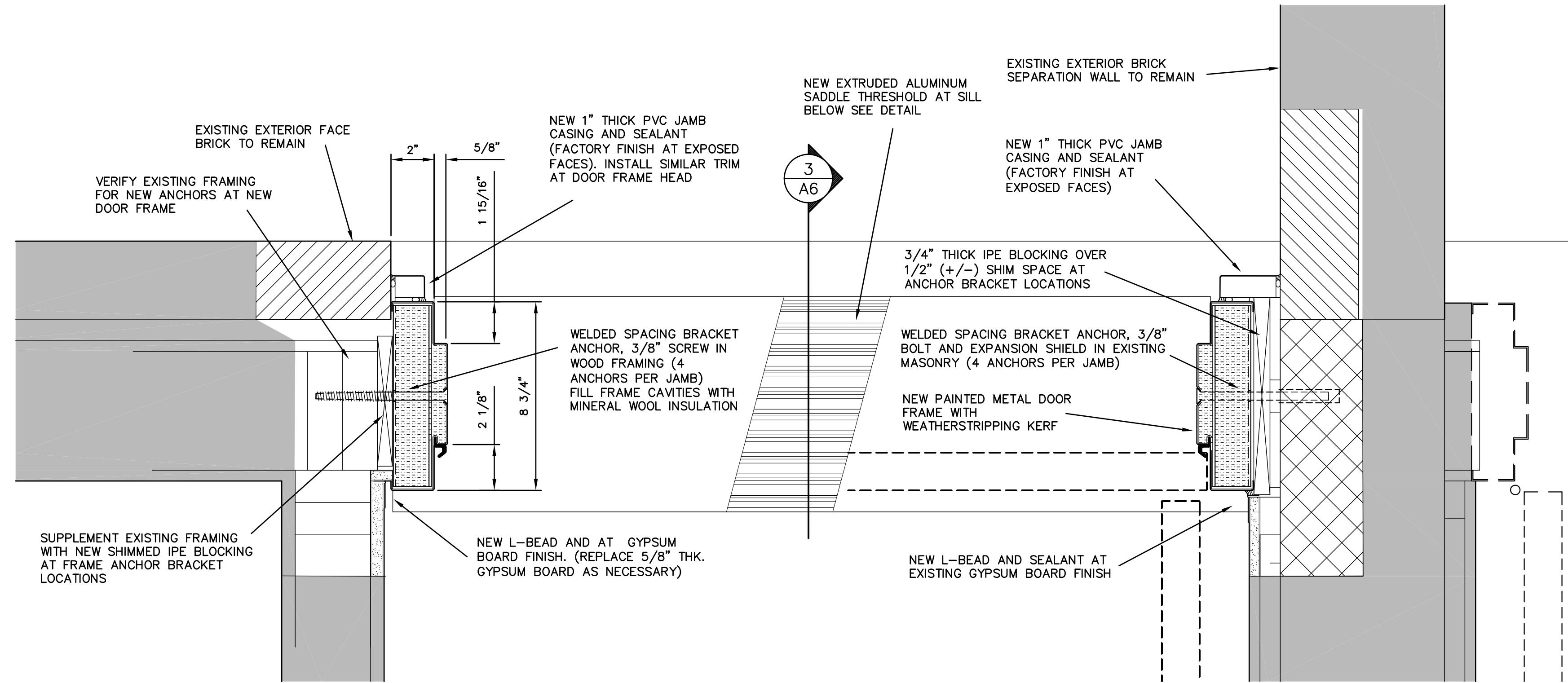
4 EXTERIOR UNIT SIGN - LAYOUT PROVIDE FULL SIZE PROOF FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
A6 SCALE: FULL SIZE



1 DETAIL INTEGRAL COVERED WALL BASE
A6 SCALE: 6" = 1'-0"

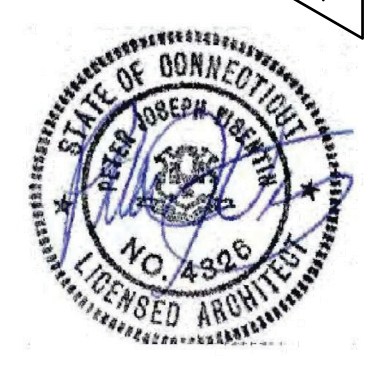
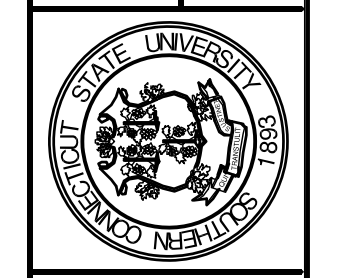


3 DETAIL DOOR THRESHOLD
A6 SCALE: 6" = 1'-0"

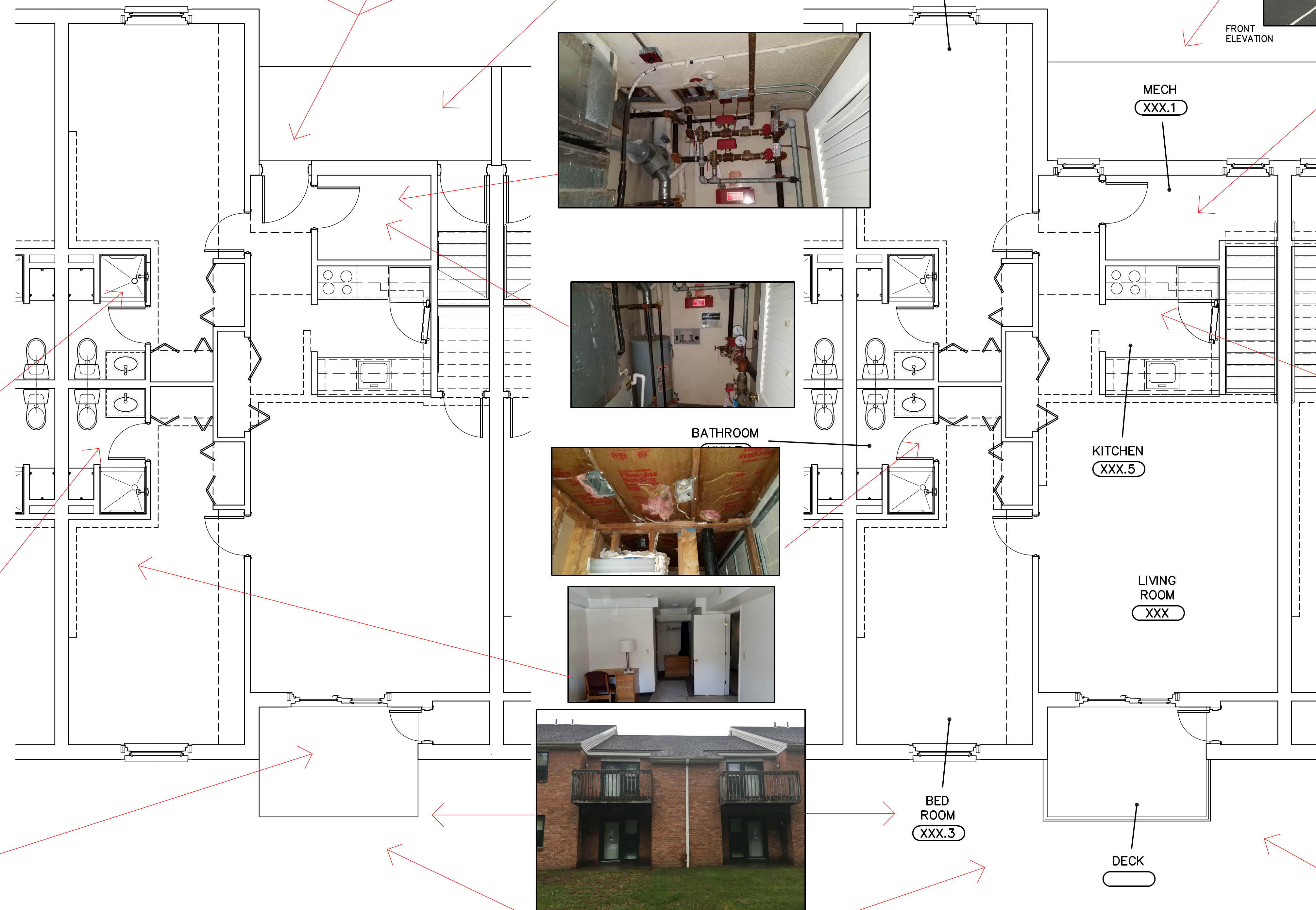
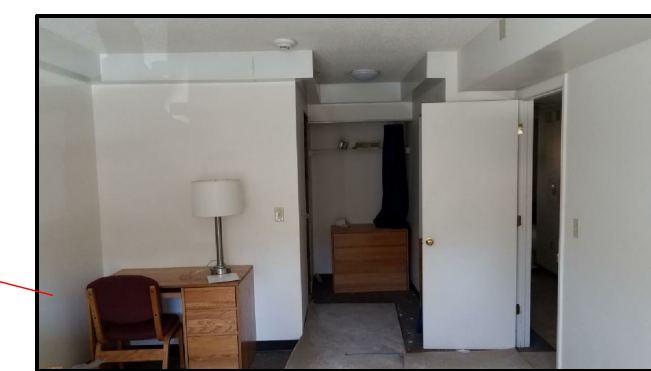
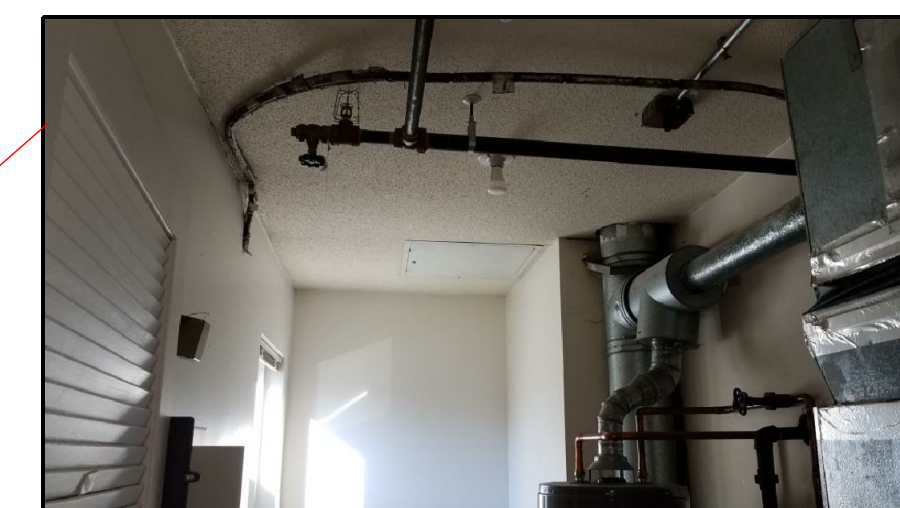
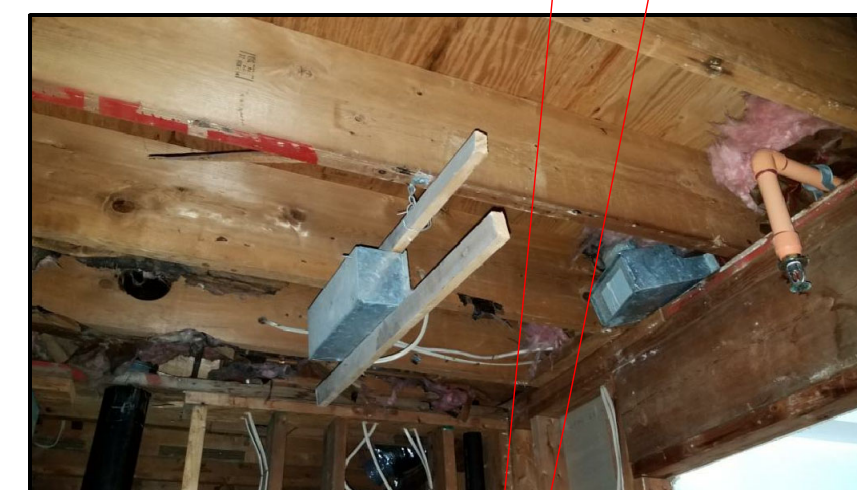
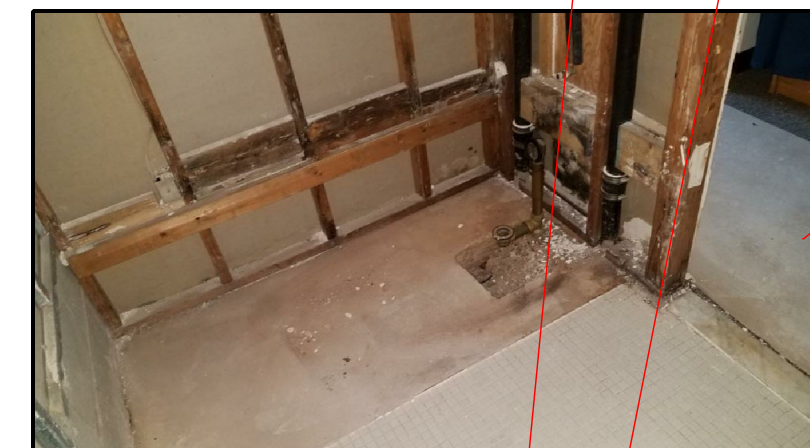


DETAIL AT DOOR DFLR2 SHOWN (OR OPPOSITE HAND), DETAIL AT DOOR DFLR1 SIMILAR

2 DETAIL - DOOR JAMB
A6 SCALE: 3" = 1'-0"



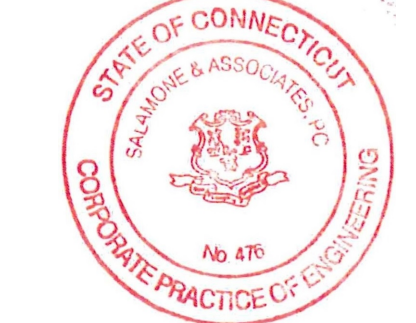
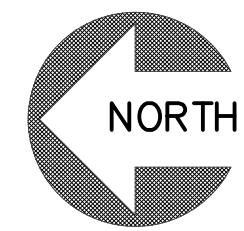
PLAN REVIEW 01/22/21



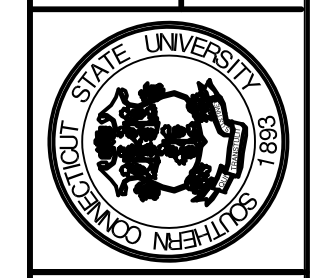
1 PARTIAL FIRST FLOOR PLAN - TYPICAL UNIT
A7 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS

2 PARTIAL SECOND FLOOR PLAN - TYPICAL UNIT
A7 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS





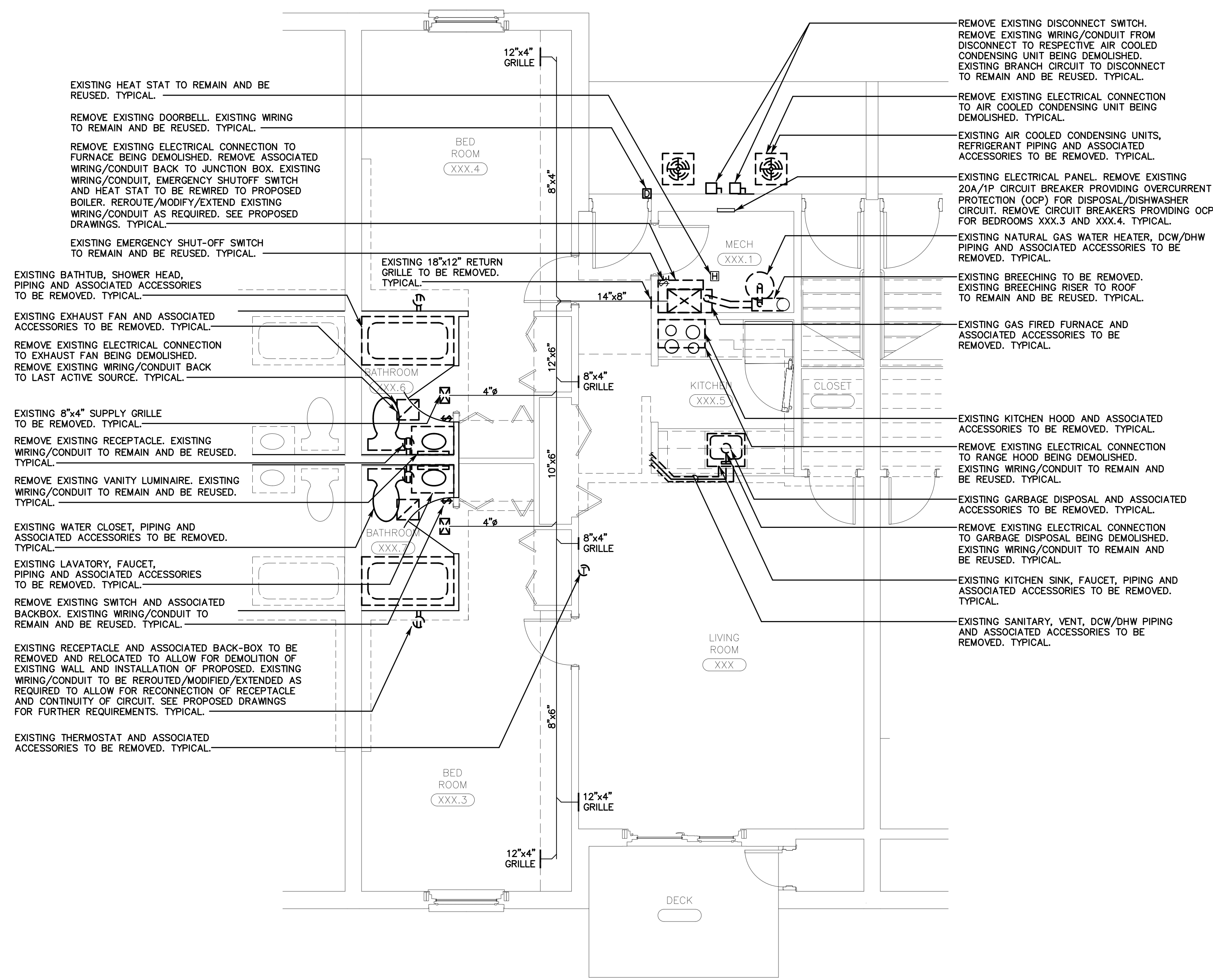
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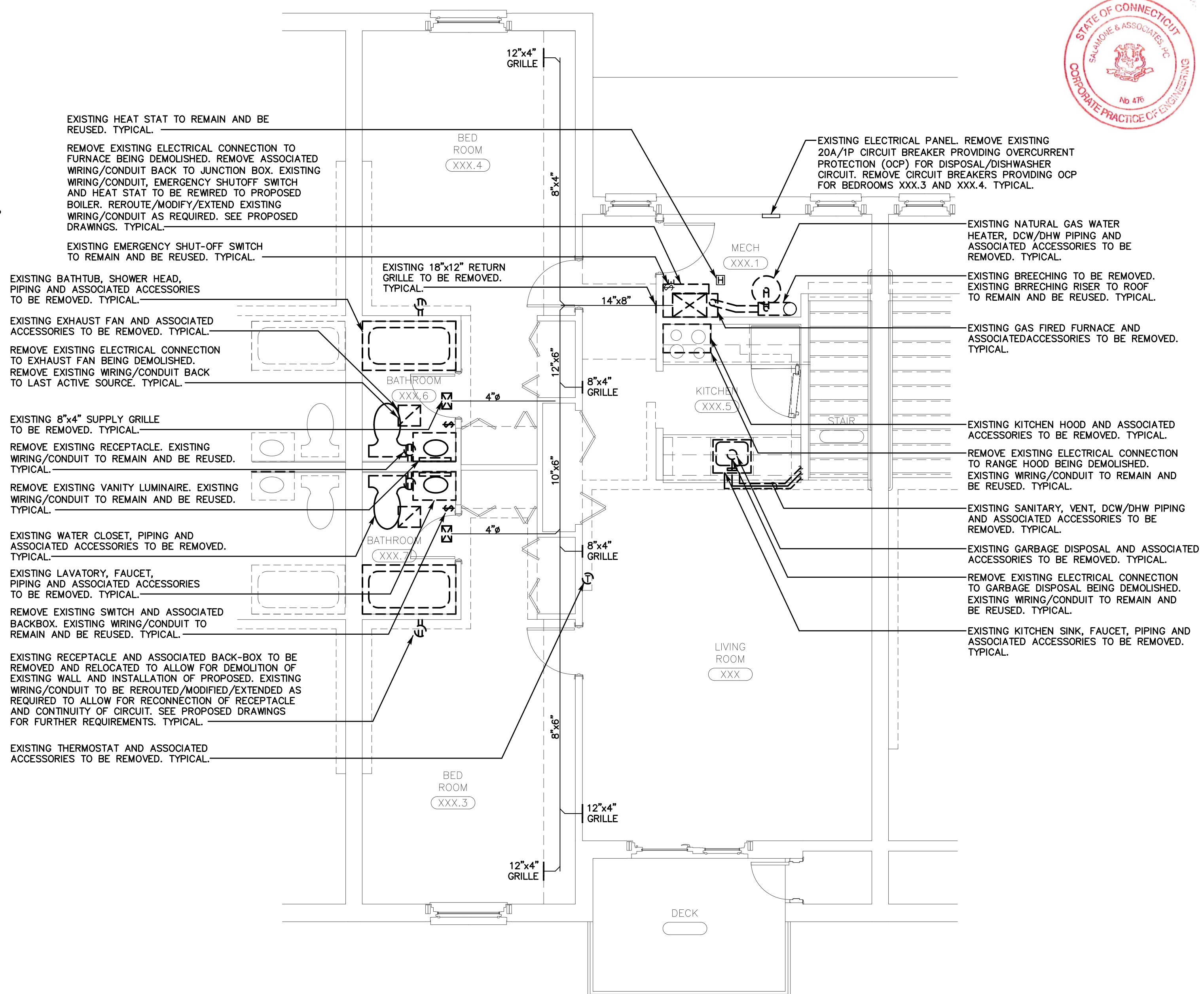
SALAMONE & ASSOCIATES, P.C.
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 111 Maple Street, Hamden, Connecticut 06514
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**NORTH CAMPUS TOWNHOUSES
 C & D UNITS RENOVATIONS
 2021**

CADD. NO. PROJECT NO. SCSU-2021-01
 SHEET DATE: DECEMBER 22, 2020
DPM DRAWING PARTIAL PLUMBING/MECHANICAL/
E1 TITLE: ELECTRICAL DEMOLITION PLANS

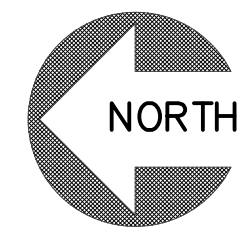


**1 PARTIAL FIRST FLOOR PLUMBING/MECHANICAL/
 ELECTRICAL DEMOLITION PLAN - TYPICAL UNIT**
 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS
 FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS

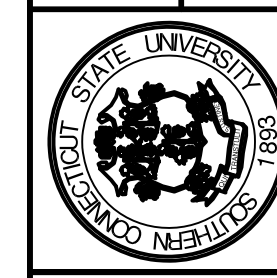


**2 PARTIAL SECOND FLOOR PLUMBING/MECHANICAL/
 ELECTRICAL DEMOLITION PLAN - TYPICAL UNIT**
 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS
 FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS

PLAN REVIEW 01/22/2021



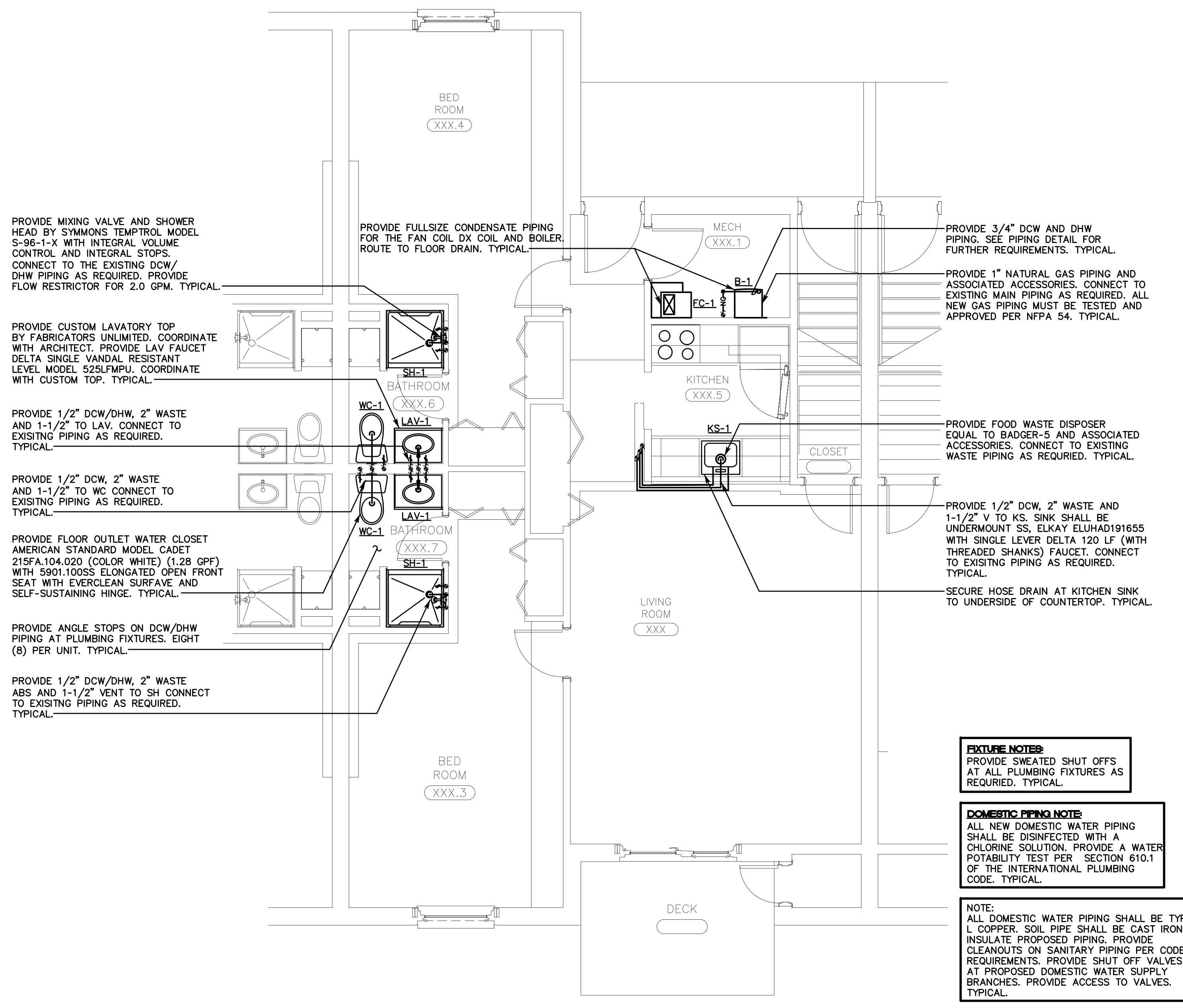
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SALAMONE & ASSOCIATES, P.C.
 REGISTERED PROFESSIONAL ENGINEERS
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 Phone: (203) 341-0000 Fax: (203) 341-0000

NORTH CAMPUS TOWNHOUSES C & D UNITS RENOVATIONS 2021

CADD. NO. PROJECT NO. SCSU-2021-01
 SHEET DATE: DECEMBER 22, 2020
 DRAWING TITLE: PARTIAL FIRST AND SECOND FLOOR PLUMBING PLANS
P1



PROVIDE MIXING VALVE AND SHOWER HEAD BY SYMMONS TEMPTROL MODEL S-96-1-X WITH INTEGRAL VOLUME CONTROL AND INTEGRAL STOPS. CONNECT TO THE EXISTING DCW/DHW PIPING AS REQUIRED. PROVIDE FLOW RESTRICTOR FOR 2.0 GPM. TYPICAL.

PROVIDE FULLSIZE CONDENSATE PIPING FOR THE FAN COIL DX COIL AND BOILER. ROUTE TO FLOOR DRAIN. TYPICAL.

PROVIDE 3/4" DCW AND DHW PIPING. SEE PIPING DETAIL FOR FURTHER REQUIREMENTS. TYPICAL.

PROVIDE CUSTOM LAVATORY TOP BY FABRICATORS UNLIMITED. COORDINATE WITH ARCHITECT. PROVIDE LAV FAUCET DELTA SINGLE VANDAL RESISTANT LEVEL MODEL 525LFMPU. COORDINATE WITH CUSTOM TOP. TYPICAL.

PROVIDE 1/2" DCW/DHW, 2" WASTE AND 1-1/2" TO LAV. CONNECT TO EXISTING PIPING AS REQUIRED. TYPICAL.

PROVIDE 1/2" DCW, 2" WASTE AND 1-1/2" TO WC CONNECT TO EXISTING PIPING AS REQUIRED. TYPICAL.

PROVIDE FLOOR OUTLET WATER CLOSET AMERICAN STANDARD MODEL CADET 215FA104-020 (COLOR WHITE) (1.28 GPF) WITH 5901.100SS ELONGATED OPEN FRONT SEAT WITH EVERCLEAN SURFAVE AND SELF-SUSTAINING HINGE. TYPICAL.

PROVIDE ANGLE STOPS ON DCW/DHW PIPING AT PLUMBING FIXTURES. EIGHT (8) PER UNIT. TYPICAL.

PROVIDE 1/2" DCW/DHW, 2" WASTE ABS AND 1-1/2" VENT TO SH CONNECT TO EXISTING PIPING AS REQUIRED. TYPICAL.

PROVIDE 1" NATURAL GAS PIPING AND ASSOCIATED ACCESSORIES. CONNECT TO EXISTING MAIN PIPING AS REQUIRED. ALL NEW GAS PIPING MUST BE TESTED AND APPROVED PER NFPA 54. TYPICAL.

PROVIDE FOOD WASTE DISPOSER EQUAL TO BADGER-5 AND ASSOCIATED ACCESSORIES. CONNECT TO EXISTING WASTE PIPING AS REQUIRED. TYPICAL.

PROVIDE 1/2" DCW, 2" WASTE AND 1-1/2" V TO KS. SINK SHALL BE UNDERMOUNT SS. ELKAY ELUHAD191655 WITH SINGLE LEVER DELTA 120 LF (WITH THREADED SHANKS) FAUCET. CONNECT TO EXISTING PIPING AS REQUIRED. TYPICAL.

SECURE HOSE DRAIN AT KITCHEN SINK TO UNDERSIDE OF COUNTERTOP. TYPICAL.

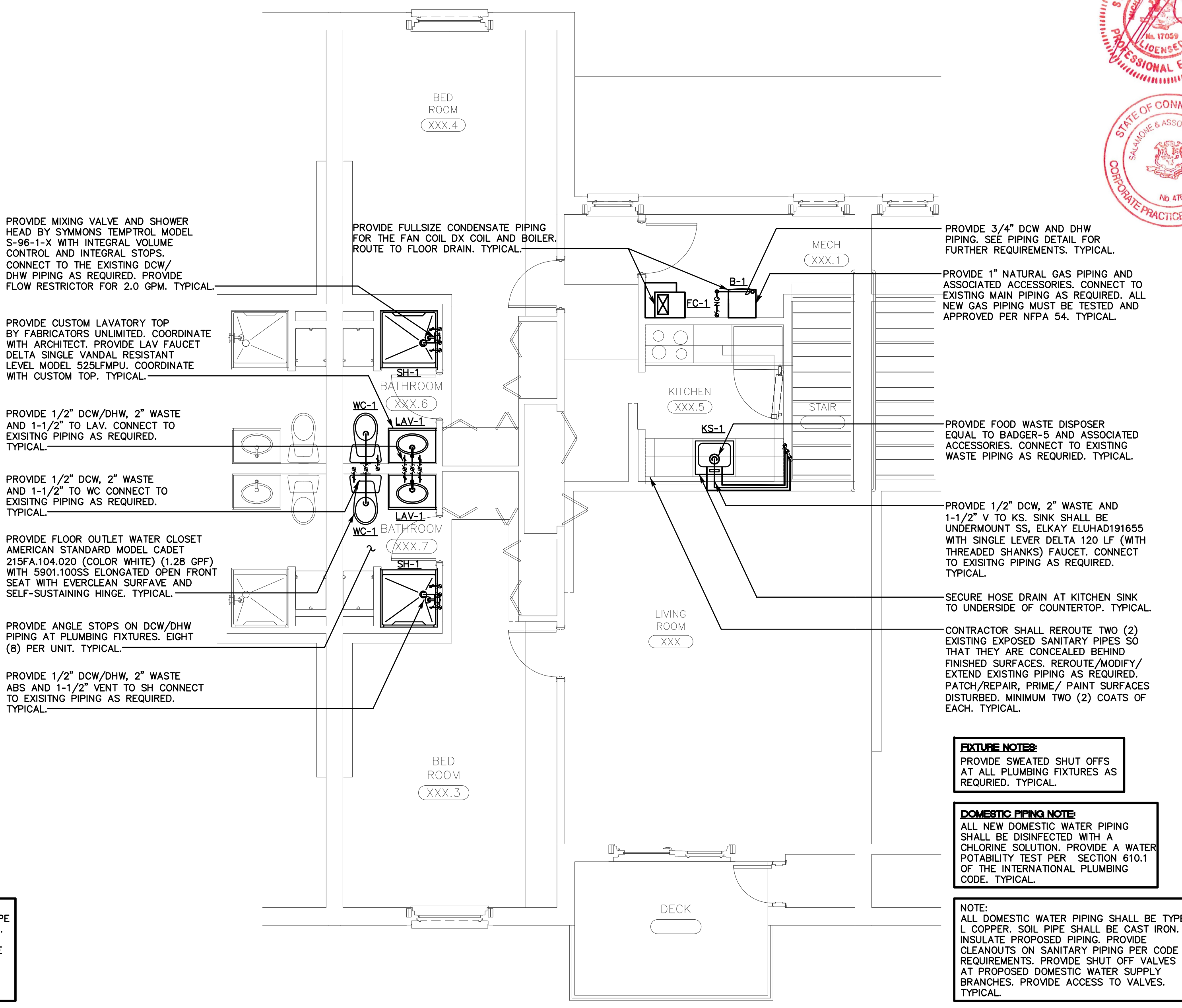
FIXTURE NOTES:
 PROVIDE SWEATED SHUT OFFS AT ALL PLUMBING FIXTURES AS REQUIRED. TYPICAL.

DOMESTIC PIPING NOTE:
 ALL NEW DOMESTIC WATER PIPING SHALL BE DISINFECTED WITH A CHLORINE SOLUTION. PROVIDE A WATER POTABILITY TEST PER SECTION 610.1 OF THE INTERNATIONAL PLUMBING CODE. TYPICAL.

NOTE:
 ALL DOMESTIC WATER PIPING SHALL BE TYPE L COPPER. SOIL PIPE SHALL BE CAST IRON. INSULATE PROPOSED PIPING. PROVIDE CLEANOUTS ON SANITARY PIPING PER CODE REQUIREMENTS. PROVIDE SHUT OFF VALVES AT PROPOSED DOMESTIC WATER SUPPLY BRANCHES. PROVIDE ACCESS TO VALVES. TYPICAL.

DRAINAGE AND VENT TESTING:
 ALL OPENINGS IN THE SYSTEM SHALL BE TIGHTLY CLOSED AND SYSTEM SHALL BE FILLED WITH WATER TO THE POINT OF OVERFLOW. SYSTEM SHALL BE TESTED WITH NOT LESS THAN A 10-FOOT HEAD OF WATER. TO PASS, THE PRESSURE SHALL BE HELD BY THE SYSTEM FOR NOT LESS THAN 15 MINUTES.

1 PARTIAL FIRST FLOOR PLUMBING PLAN – TYPICAL UNIT
 P1 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS



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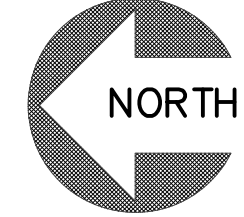
PLAN REVIEW 01/22/2021

PLUMBING SYMBOL LIST	
	BALL VALVE
	CAP
	PIPE ELBOW, TURNED UP
	PIPE ELBOW, TURNED DOWN
	DOMESTIC COLD WATER SUPPLY PIPING
	DOMESTIC HOT WATER SUPPLY PIPING
	SANITARY VENT PIPING
	PIPING TO BE PROVIDED
	CLEAN OUT

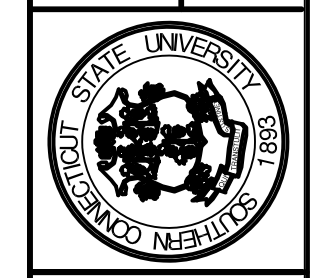
PLUMBING ABBREVIATIONS	
C.O.	CLEANOUT
DCW	DOMESTIC COLD WATER SUPPLY
DHW	DOMESTIC HOT WATER SUPPLY
DN	DOWN
F.C.O.	FLOOR CLEANOUT
FD	FLOOR DRAIN
FS	FLOOR SINK
ID	INDIRECT WASTE
LAV	LAVATORY
NTS	NOT TO SCALE
SAN	SANITARY
SK	SINK
TYP	TYPICAL
VTR	SANITARY VENT THROUGH ROOF
WC	WATER CLOSET

EXPANSION TANK SCHEDULE	
NO.	ET-2
LOCATION	MECH ROOM
SERVICE	DOMESTIC WATER
TYPE	BLADDER
CAPACITY (GALLONS)	2
ACCEPTANCE	0.9
MODEL	PT-5
MANUFACTURER	BELL AND GOSSETT
NOTE:	
1. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.	

- ### GENERAL NOTES
- PROVIDE FIXTURE SHUT-OFF VALVES AND P-TRAPS FOR ALL FIXTURES PROVIDED. PROVIDE SANITARY, WASTE AND DOMESTIC WATER PIPING AS REQUIRED FOR ALL FIXTURES PROVIDED.
 - REFER TO AND CAREFULLY CHECK ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS AND DETAILS, NOTING LOCATIONS WHERE WALLS, PARTITIONS, CEILINGS AND OTHER SURFACES ARE FURRED, LOCATION OF PIPE SLEEVES, LOCATIONS OF PIPE SHAFTS AND CONFLICTS WITH WORK OF OTHER TRADES AND ARRANGE WORK ACCORDINGLY. FURNISH ALL OFFSETS, FITTINGS, VALVES, DRAINS, ETC. REQUIRED TO MEET SUCH CONDITIONS.
 - DUE TO SCALE OF DRAWINGS, ALL REQUIRED OFFSETS, FITTINGS, VALVES, DRAINS, ETC. MAY NOT BE INDICATED.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE AND LOCAL GOVERNING CODES.
 - THE TERM "PROVIDE" SHALL MEAN "TO FURNISH, INSTALL AND CONNECT COMPLETELY."
 - ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
 - CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR PIPE SLOPE AND ANCHORAGE.
 - BEFORE CUTTING OR DRILLING INTO BUILDING ELEMENTS, INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST ACCEPTED:
 - CT BUILDING CODE
 - NFPA 13
 - INTERNATIONAL PLUMBING CODE
 - ASTM & ANSI STANDARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND PAYMENT FOR ANY/ALL UTILITIES DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR TO CONFIRM PIPE LOCATIONS, ELEVATIONS, AND SIZES BEFORE ANY WORK IS STARTED. IF ANY DISCREPANCIES ARE FOUND NOTIFY ENGINEER BEFORE PROCEEDING WITH WORK.
 - PROVIDE SEISMIC DESIGN CATEGORY B BRACING OF ALL PLUMBING PIPES PER THE STATE OF CONNECTICUT BUILDING CODE.
 - FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF PROVIDED EQUIPMENT.
 - ALL PIPES THAT PENETRATE WALLS, FLOORS AND CEILINGS IN FINISHED AREAS SHALL RECEIVE CHROME PLATED METAL ESCUTCHEONS.
 - ALL SHOP DRAWINGS OF INDIVIDUAL COMPONENTS ARE TO BE SUBMITTED AS A COMPLETE PACKAGE.
 - ALL SHOP DRAWINGS OF RELATED COMPONENTS SHALL BE SUBMITTED AS A COMPLETE PACKAGE.
 - ALL WORK IN INTERIOR FINISHED SPACES IS TO BE CONCEALED BEHIND WALLS, ABOVE CEILINGS, OR UNDER THE FLOOR. PROVIDE ALL NECESSARY CUTTING, PATCHING, REPAINTING AND/OR REPLACEMENT OF FINISHES AS REQUIRED TO PERFORM WORK.
 - WRITTEN REQUESTS FOR PLANNED SHUTDOWN OR INTERRUPTION OF BUILDING SERVICES, SYSTEMS OR EQUIPMENT SHALL BE MADE IN WRITING 72 HOURS PRIOR TO START OF THE REQUESTED SHUTDOWN PERIOD.
 - SUPPORT PIPING ABOVE SUSPENDED CEILING, FROM CONSTRUCTION ABOVE, AS CLOSE AS POSSIBLE TO BOTTOM OF SLABS, BEAMS, MAINTAINING MAXIMUM HEADROOM AT ALL TIMES.
 - PROVIDE CLEANOUTS PER INTERNATIONAL PLUMBING CODE.

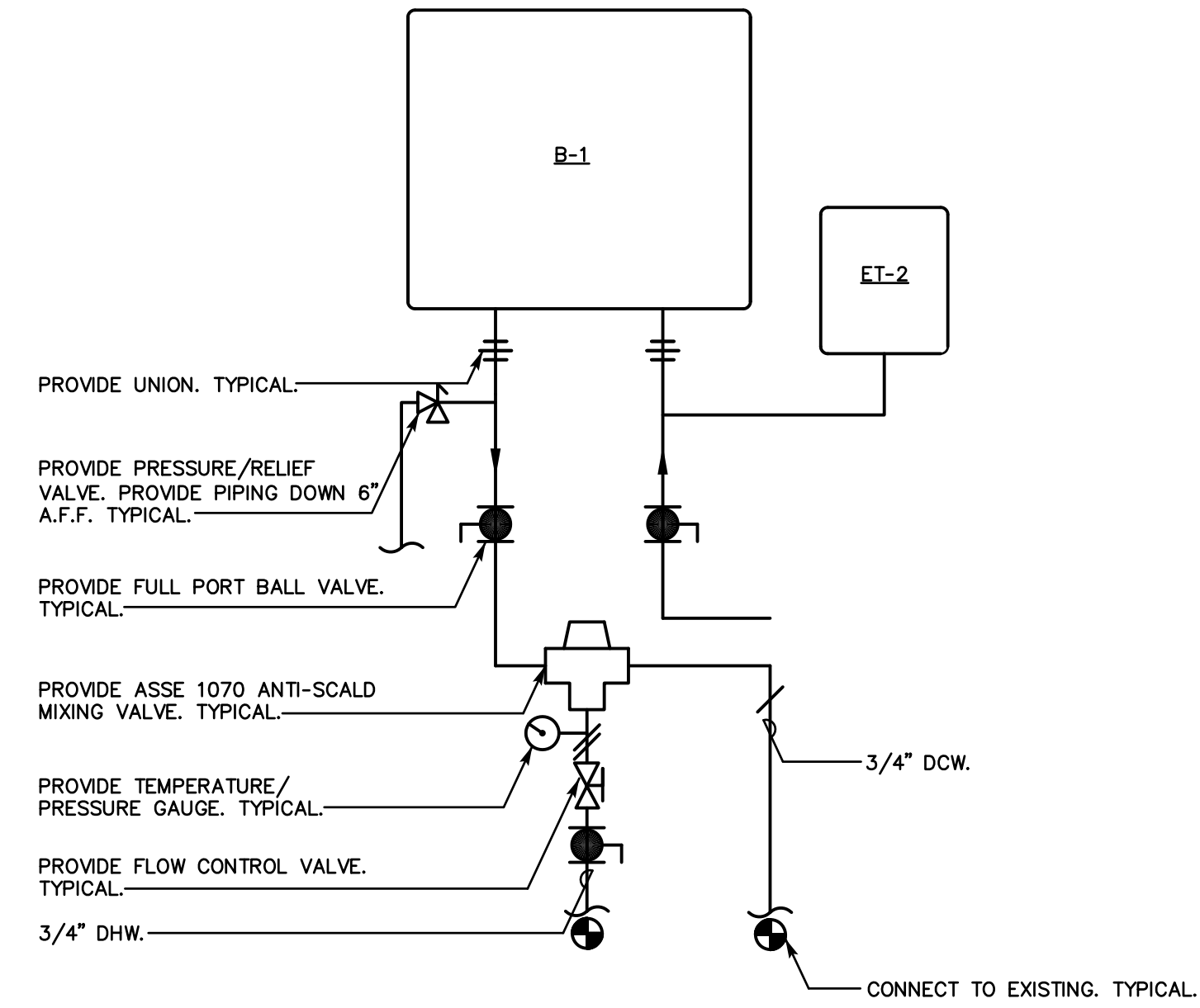


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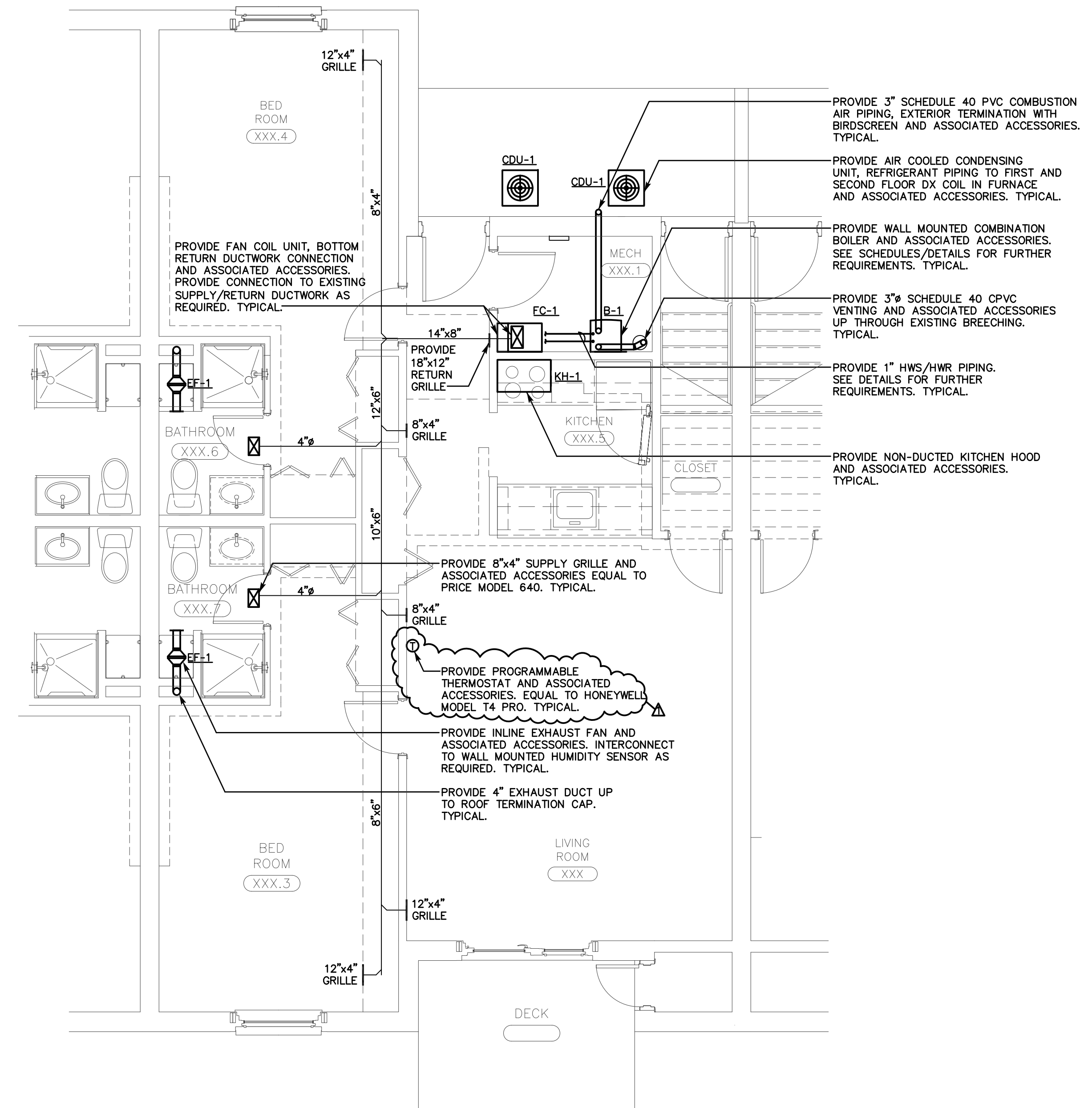
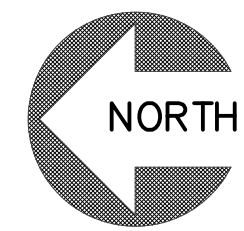
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NORTH CAMPUS TOWNHOUSES C & D UNITS RENOVATIONS 2021

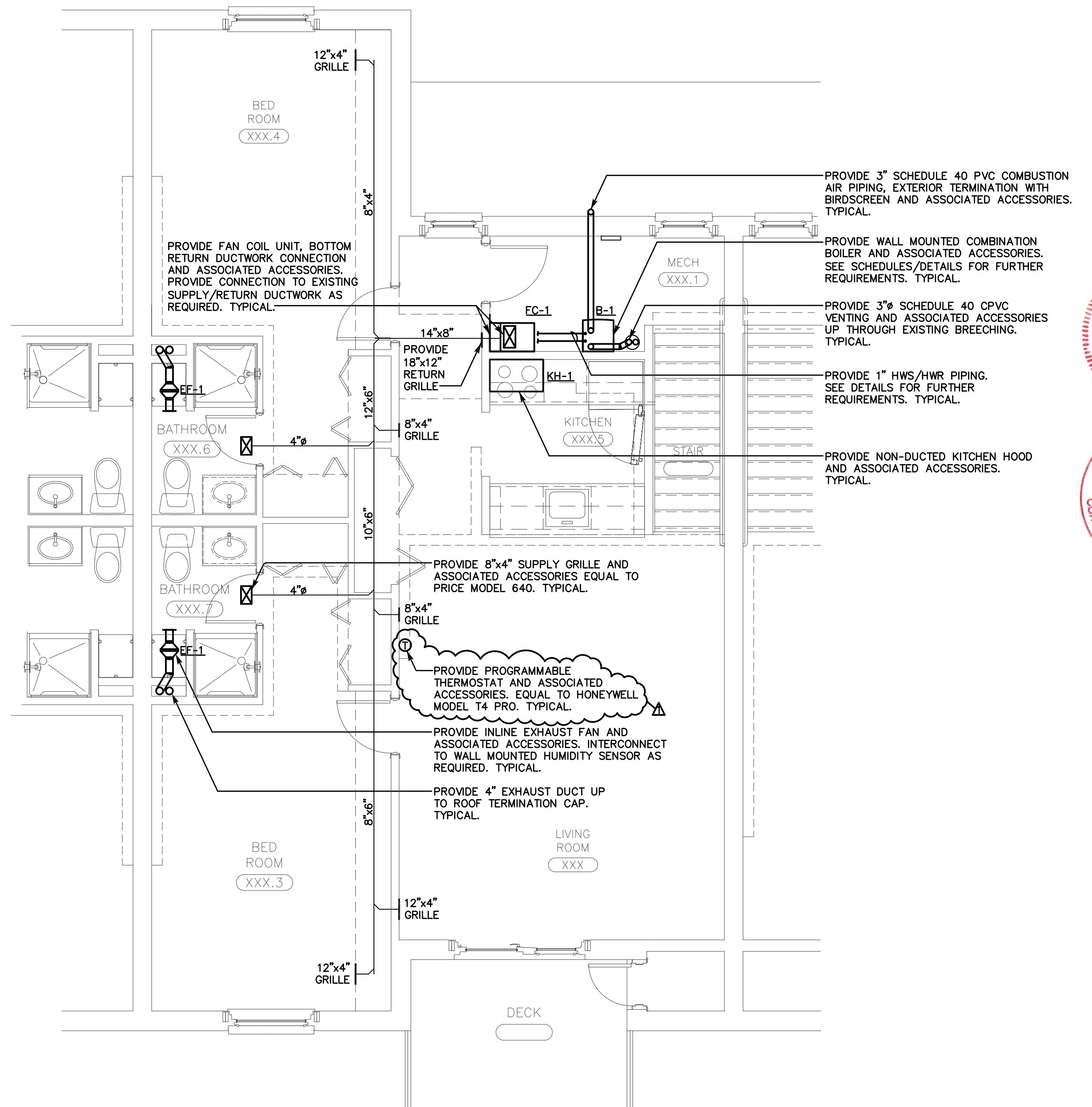


TYPICAL DOMESTIC WATER PIPING DETAIL
 SCALE: N.T.S.

CADD. NO. SHEET **P2**
 PLAN REVIEW 01/22/2021
 PROJECT NO. SCSU-2021-01
 DATE: DECEMBER 22, 2020
 DRAWING TITLE: PLUMBING SCHEDULES, NOTES, SYMBOLS AND ABBREVIATIONS



1 PARTIAL FIRST FLOOR MECHANICAL PLAN – TYPICAL UNIT
M1 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS



2 PARTIAL SECOND FLOOR MECHANICAL PLAN – TYPICAL UNIT
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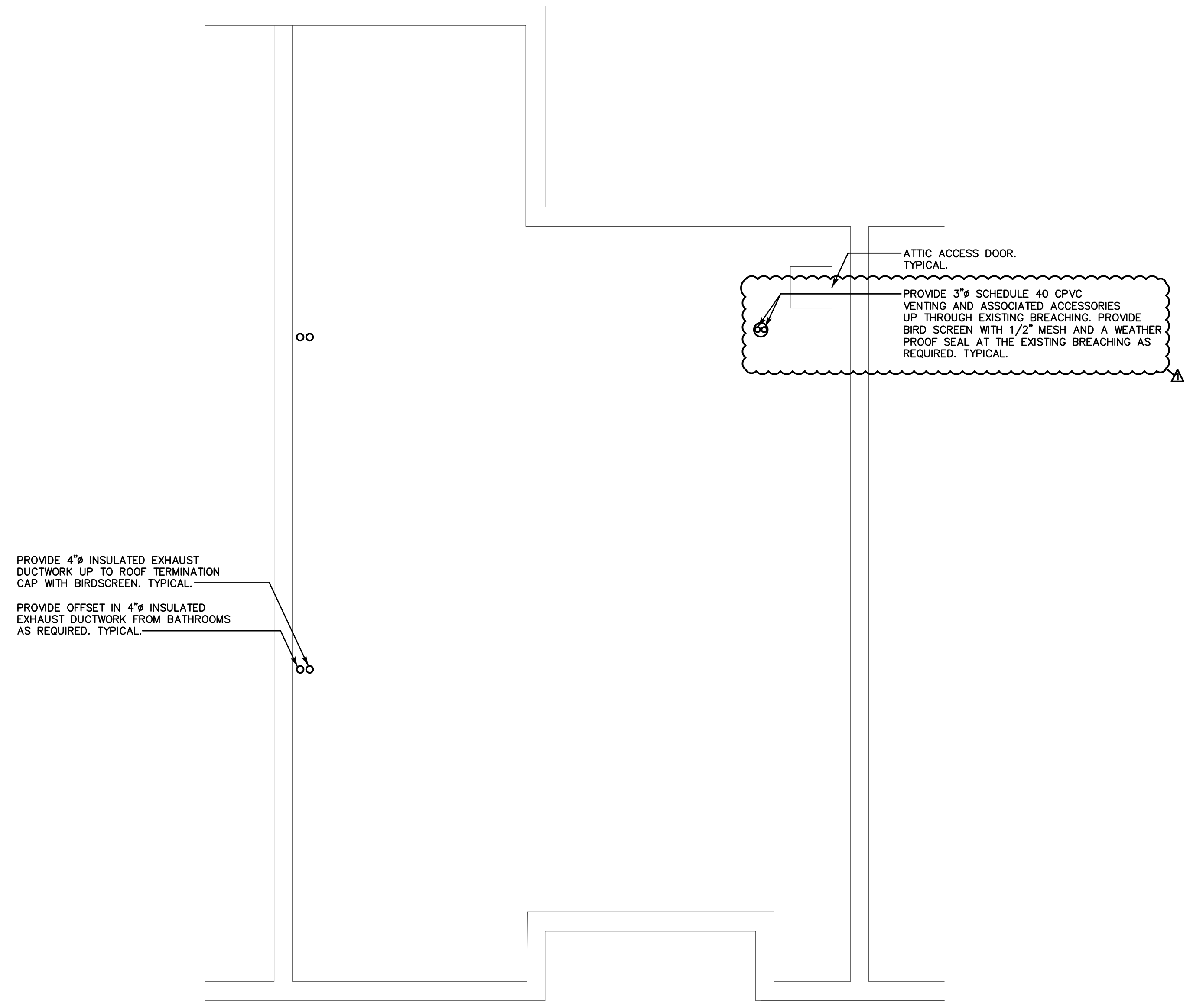
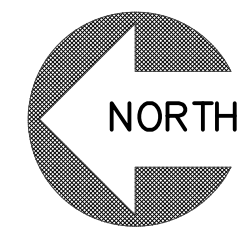


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NORTH CAMPUS TOWNHOUSES
 C & D UNITS RENOVATIONS
 2021

CADD. NO.	PROJECT NO.	SCSU-2021-01
SHEET	DATE:	DECEMBER 22, 2020
M1	DRAWING TITLE:	PARTIAL FIRST AND SECOND FLOOR MECHANICAL PLANS

PLAN REVIEW 01/22/2021



PROVIDE 4" INSULATED EXHAUST DUCTWORK UP TO ROOF TERMINATION CAP WITH BIRDSCREEN. TYPICAL.

PROVIDE OFFSET IN 4" INSULATED EXHAUST DUCTWORK FROM BATHROOMS AS REQUIRED. TYPICAL.

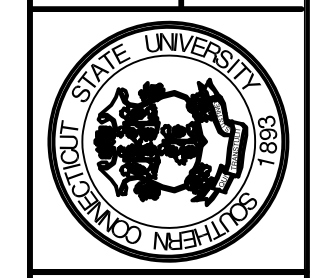
ATTIC ACCESS DOOR. TYPICAL.

PROVIDE 3" SCHEDULE 40 CPVC VENTING AND ASSOCIATED ACCESSORIES UP THROUGH EXISTING BREACHING. PROVIDE BIRD SCREEN WITH 1/2" MESH AND A WEATHER PROOF SEAL AT THE EXISTING BREACHING AS REQUIRED. TYPICAL.

1 PARTIAL ATTIC MECHANICAL PLAN – TYPICAL UNIT
M2 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS



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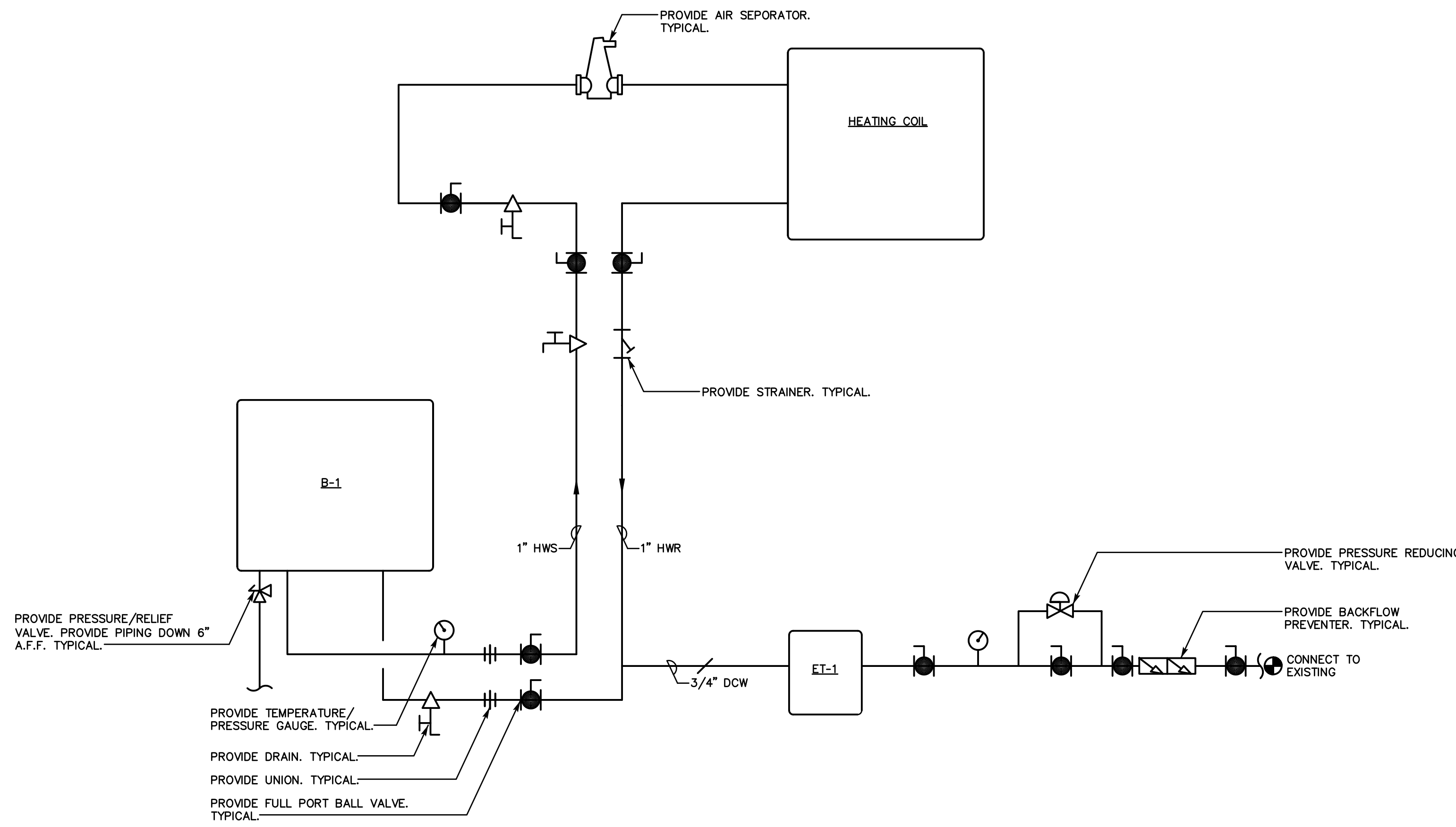


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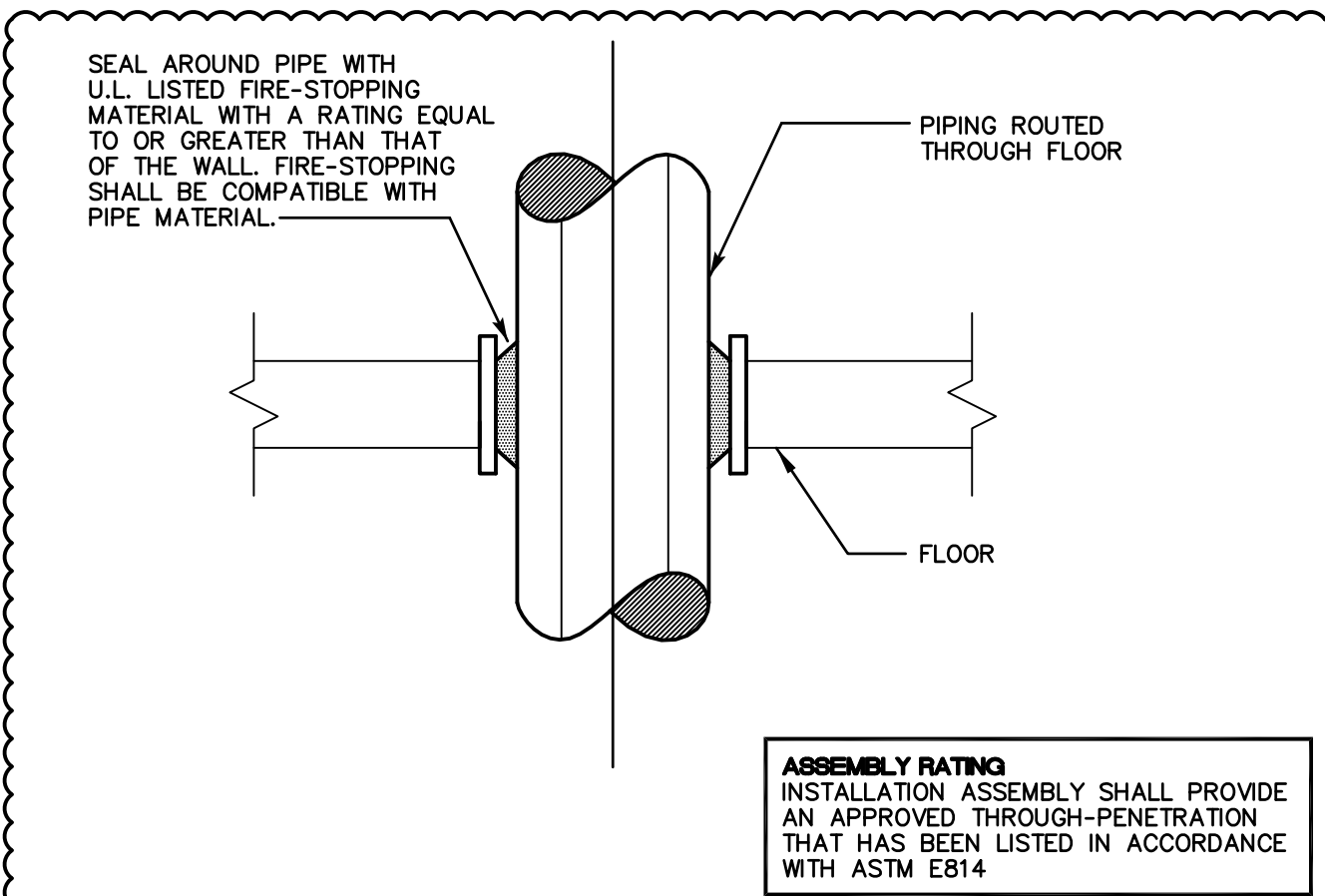
**NORTH CAMPUS TOWNHOUSES
 C & D UNITS RENOVATIONS
 2021**

PLAN REVIEW 01/22/2021
 PROJECT NO. SCSU-2021-01
 DATE: DECEMBER 22, 2020
 DRAWING TITLE: PARTIAL ATTIC MECHANICAL PLAN

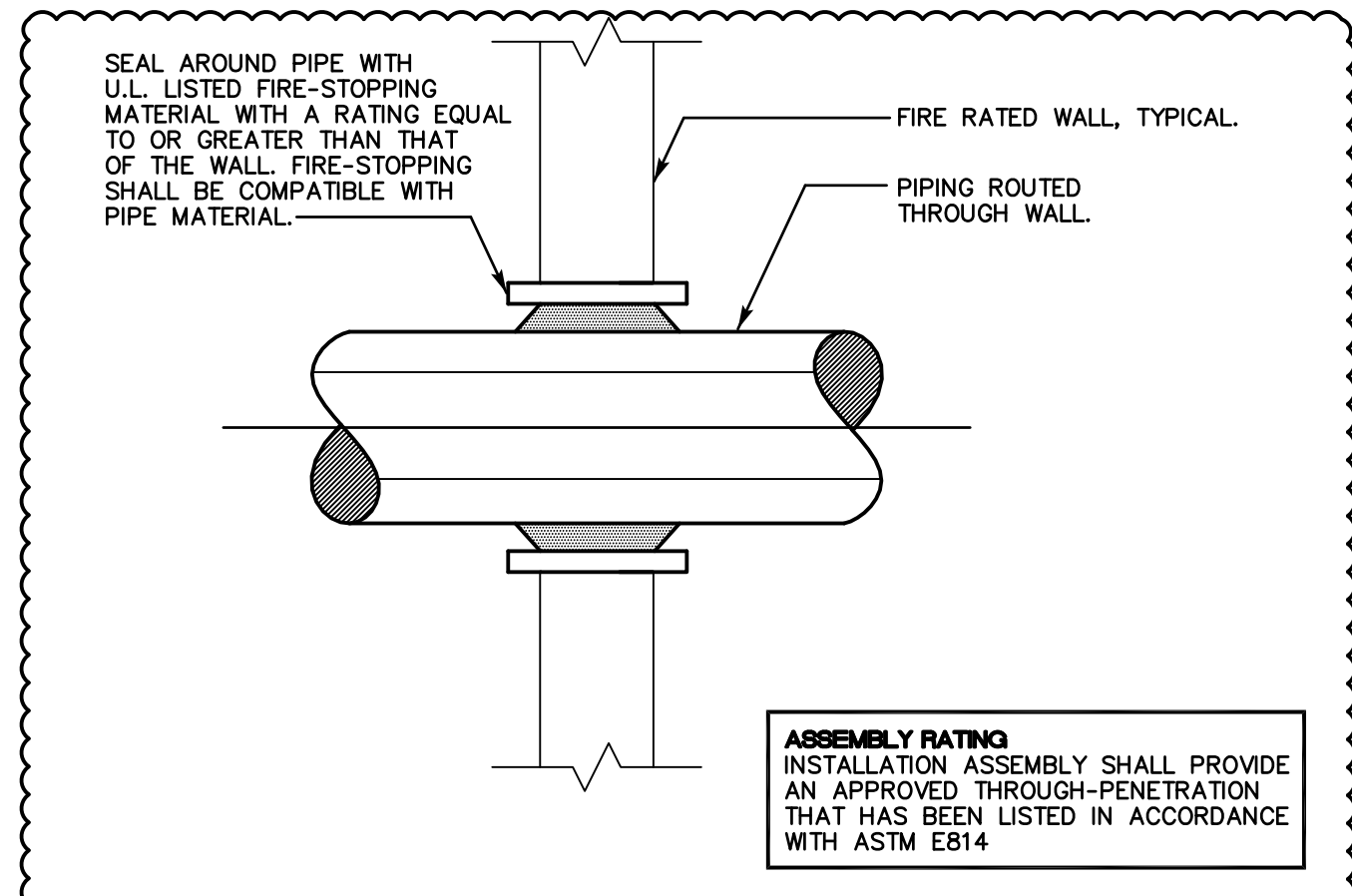
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M2



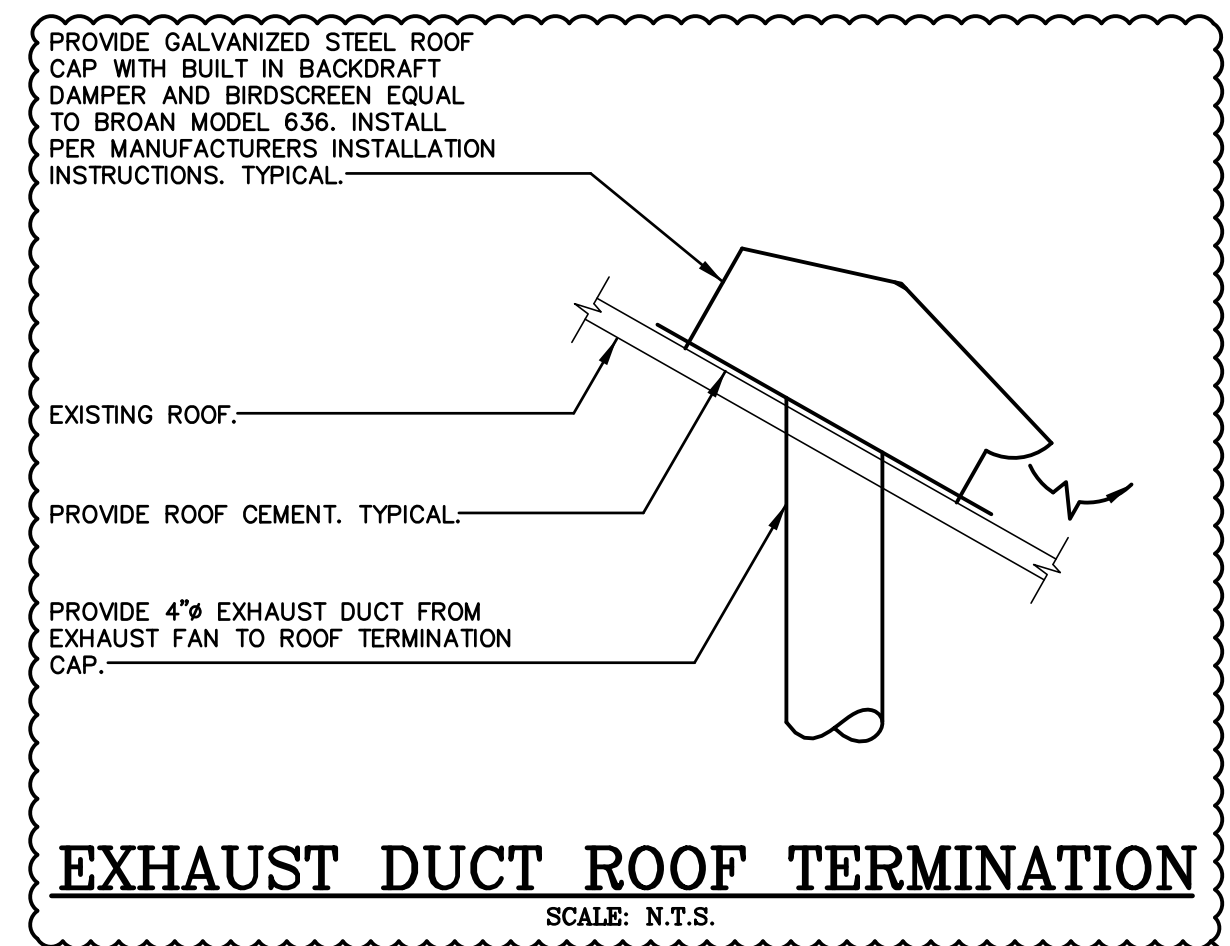
TYPICAL HOT WATER PIPING DETAIL
SCALE: N.T.S.



TYPICAL PIPING FLOOR PENETRATION DETAIL (UL XHEZ C-AJ-1008)
SCALE: N.T.S.



TYPICAL PIPING WALL PENETRATION DETAIL (UL XHEZ C-AJ-1008)
SCALE: N.T.S.



EXHAUST DUCT ROOF TERMINATION
SCALE: N.T.S.

CONDENSING UNIT SCHEDULE	
UNIT NO.	CDU-1
SERVICE	FC-1 DX COOLING COIL
COOLING TOTAL BTU/HR	18,300
REFRIGERANT	R410A
ELECT. CHAR. (V/PH/Hz)	208-230/1/60
DESIGN BASED MODEL	4TRR4018
DESIGN BASED MANUFACTURER	TRANE

EXHAUST FAN SCHEDULE	
EXHAUST FAN NO.	EF-1
SERVICE	BATHROOM
LOCATION	INLINE
AIR FLOW (CFM)	110
EXT. STATIC PRESS. (WG)	0.20
MOTOR (WATTS)	46.0
ELECT. CHARAC. (V/PH/Hz)	115/1/60
DESIGN BASED MODEL	ILF120
DESIGN BASED MANUFACTURER	NUTONE

KITCHEN HOOD SCHEDULE	
HOOD NO.	KH-1
SERVICE	KITCHEN NON-DUCTED
LOCATION	OVER RANGE
MOTOR (AMPS)	2.0
ELECT. CHARAC. (V/PH/Hz)	115/1/60
DESIGN BASED MODEL	41000
DESIGN BASED MANUFACTURER	BROAN

SIDEWALL RETURN GRILLE SCHEDULE	
GRILLE NO.	RA-1
TYPE	ALUMINUM LOUVERED RETURN
BLADES	3/4" @ 45°
BLADE ORIENTATION	S
DESIGN BASED MODEL	630
DESIGN BASED MANUFACTURER	PRICE

COMBINATION BOILER SCHEDULE	
BOILER NO.	B-1
LOCATION	MECH ROOM
TYPE	GAS-FIRED, CONDENSING COMBINATION
SERVICE	FC-1 HOT WATER COIL/DOMESTIC HOT WATER
HEATING INPUT (BTU/HR)	150,000
HEATING OUTPUT (BTU/HR)	139,000
AFUE	95%
BUILT IN CIRCULATOR PUMP	YES
ELECT. CHARAC. (V/PH/Hz)	115/1/60
DESIGN BASED MODEL	NKB150N
DESIGN BASED MANUFACTURER	LOCHINVAR

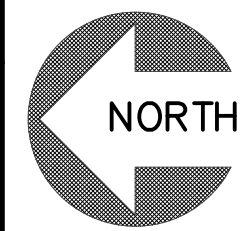
EXPANSION TANK SCHEDULE	
TANK NO.	ET-1
LOCATION	MECH ROOM
TYPE	BLADDER
CAPACITY (GALLONS)	2.0
ACCEPTANCE	1.0
MODEL	HFT-15
MANUFACTURER	BELL AND GOSSETT

FAN COIL UNIT SCHEDULE	
FURNACE NO.	FC-1
LOCATION	MECH ROOM
TYPE	HOT WATER/DX COIL
AIR FLOW (CFM)	590
HEATING INPUT (BTU/HR)	60,000
HEATING OUTPUT (BTU/HR)	48,000
GPM	6.0
COOLING CAPACITY (BTU/HR)	17,900
COOLING EDB (F°)	80.00
COOLING EWB (F°)	67.00
COOLING LDB (F°)	59.90
COOLING LWB (F°)	57.20
ELECT. CHARAC. (V/PH/Hz)	208-230/1/60
DESIGN BASED MODEL	TAM9A0424V21DA
DESIGN BASED MANUFACTURER	TRANE

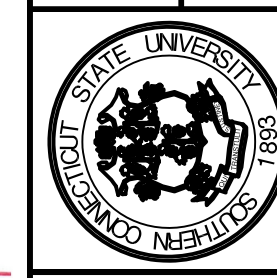
- ### GENERAL NOTES
- DRAWINGS ARE DIAGRAMMATIC. THEY INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DRAWINGS ARE NOT TO BE SCALED. ORIGINAL ARCHITECTURAL DRAWINGS AND DETAILS SHALL BE EXAMINED FOR EXACT LOCATION OF FIXTURES AND EQUIPMENT. WHERE THEY ARE NOT DEFINITELY LOCATED, THE INFORMATION SHALL BE OBTAINED FROM THE OWNER OR AUTHORIZED REPRESENTATIVE.
 - UNLESS OTHERWISE INDICATED, PROVIDE COMPLETE AND OPERATIONAL MECHANICAL SYSTEMS INCLUDING ALL NECESSARY MATERIAL, LABOR, AND EQUIPMENT.
 - UNLESS OTHERWISE INDICATED, PROVIDE CONTROL WIRING FOR ALL MECHANICAL SYSTEM EQUIPMENT. INSTALL PER N.E.C.
 - ALL EQUIPMENT AND MATERIAL SHALL BE LABELED AND LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING.
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
 - ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
 - THE TERM "INDICATED" SHALL MEAN "AS SHOWN ON CONTRACT DOCUMENTS (SPECIFICATIONS, DRAWINGS, AND RELATED ATTACHMENTS)."
 - THE TERM "PROVIDE" SHALL MEAN "TO FURNISH, INSTALL, AND CONNECT COMPLETELY."
 - SUBMIT FOR REVIEW, DETAILED SHOP DRAWINGS OF ALL EQUIPMENT AND MATERIAL REQUIRED TO COMPLETE THE WORK. NO MATERIAL OR EQUIPMENT MAY BE DELIVERED TO THE JOBSITE OR INSTALLED UNTIL ACCEPTED SHOP DRAWINGS FOR THE PARTICULAR MATERIAL OR EQUIPMENT HAS BEEN APPROVED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE. WHERE THE CONTRACTOR PROPOSES TO USE AN ITEM OF EQUIPMENT OTHER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WHICH REQUIRES ANY REDESIGN OF THE STRUCTURE, PARTITIONS, FOUNDATIONS, PIPING, WIRING, OR ANY OTHER PART OF THE MECHANICAL, ELECTRICAL, OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN AND ALL NEW DRAWINGS, AND DETAILING REQUIRED, THEREFORE, SHALL BE PREPARED AT THE CONTRACTOR'S EXPENSE AND IS SUBJECT TO THE REVIEW AND APPROVAL OF THE OWNER OR HIS AUTHORIZED REPRESENTATIVE. OWNER RESERVES THE RIGHT TO HAVE THE ARCHITECT OR ENGINEER OF HIS CHOICE PREPARE ANY REDESIGN WORK.
 - MECHANICAL PLANS AND DETAILS DO NOT SHOW ALL INTERFERENCES AND CONDITIONS, VISIBLE AND/OR HIDDEN, THAT MAY EXIST; THUS, REQUIRING THE CONTRACTOR TO INSPECT AND SURVEY THE SPACE BEFORE PERFORMING THE WORK.
 - CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS OF MECHANICAL EQUIPMENT WITH DIVISION 16.
 - TURN OVER TO THE OWNER ALL MANUFACTURER'S WARRANTIES FOR EQUIPMENT AND MATERIALS PROVIDED.
 - THE CONTRACTOR MAY SUBSTITUTE EQUIPMENT OF ANOTHER MANUFACTURER IF IT IS OF EQUAL QUALITY AND RATING, SUBJECT TO OWNER'S AND ENGINEER'S REVIEW AND ACCEPTANCE. WHERE CONTRACTOR SUBSTITUTES EQUIPMENT REQUIRING A DIFFERENT SYSTEM CONFIGURATION, HE SHALL BE RESPONSIBLE FOR PROVIDING INSTALLATION SHOP DRAWINGS AND ALL RELATED ACCESSORY EQUIPMENT FOR A COMPLETE SYSTEM INSTALLATION.
 - BEFORE SELECTING MATERIAL AND EQUIPMENT AND PROCEEDING WITH WORK, INSPECT AREAS WHERE MATERIAL AND EQUIPMENT ARE TO BE INSTALLED TO INSURE SUITABILITY, AND CHECK NEEDED SPACE FOR PLACEMENT AND CLEARANCES.
 - BEFORE CUTTING OR DRILLING INTO BUILDING ELEMENTS, INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH (THE LATEST ADOPTED):
 - CONNECTICUT BUILDING CODE AND SUPPLEMENTS
 - INTERNATIONAL PLUMBING CODE
 - INTERNATIONAL MECHANICAL CODE
 - INTERNATIONAL ENERGY CONSERVATION CODE
 - ANSI STANDARDS
 - LOCATE ALL EQUIPMENT WHICH REQUIRES SERVICING IN FULLY ACCESSIBLE POSITIONS. IF REQUIRED FOR BETTER ACCESSIBILITY, FURNISH ACCESS DOORS FOR THE PURPOSE. MINOR DEVIATIONS FROM DRAWINGS MAYBE MADE TO ALLOW FOR BETTER ACCESSIBILITY. ANY CHANGE SHALL BE SUBMITTED TO THE OWNER OR HIS AUTHORIZED REPRESENTATIVE FOR REVIEW.
 - ASCERTAIN FROM EXAMINATION OF THE DRAWINGS, ANY SPECIAL TEMPORARY OPENINGS IN THE BUILDING REQUIRED FOR THE ADMISSION OF APPARATUS PROVIDED UNDER THIS DIVISION. NOTIFY THE OWNER ACCORDINGLY. IN THE EVENT OF FAILURE TO GIVE SUFFICIENT NOTICE TO THE CONTRACTOR IN TIME TO ARRANGE FOR OPENINGS DURING CONSTRUCTION, ASSUME ALL COSTS OF PROVIDING SUCH OPENINGS THEREAFTER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSEMBLY AND DISASSEMBLY OF EQUIPMENT AS REQUIRED TO PLACE EQUIPMENT IN ITS FINAL LOCATION.
 - UNLESS OTHERWISE INDICATED, PROVIDE 14 GAUGE GALVANIZED PIPE SLEEVES TWO (2) SIZES LARGER THAN THE PIPE OR INSULATION WHERE SUCH ASSEMBLIES PENETRATE WALLS, PARTITIONS, FLOORS, OR STRUCTURAL MEMBERS.
 - ALL VOIDS BETWEEN PIPE SLEEVES AND PIPES SHALL BE FILLED WITH A FIRE TESTED AND APPROVED ELASTOMERIC CAULKING MATERIAL.
 - UNLESS OTHERWISE INDICATED, SUPPORT PIPES WITH HANGER SPACING IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE.
 - CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR PIPE EXPANSION, CONTRACTION, SLOPE, AND ANCHORAGE.
 - ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS.
 - PROVIDE DUCT INSULATION WITH A MINIMUM OF R-6.
 - PROVIDE PIPE INSULATION WITH A MINIMUM OF R-3.
 - PROVIDE EQUIPMENT/PIPING/DUCTWORK LABELING, COMPLY WITH ANSI A13.1 FOR LETTERING SIZE, LENGTH OF COLOR FIELD, COLORS, AND VIEWING ANGLES OF DEVICES.
 - GALVANIZED SHEET STEEL: LOCK-FORMING QUALITY, ASTM A 527, COATING DESIGNATION G 90. PROVIDE MILL PHOSPHATIZED FINISH FOR EXPOSED SURFACES OF DUCTS EXPOSED TO VIEW.

ABBREVIATIONS

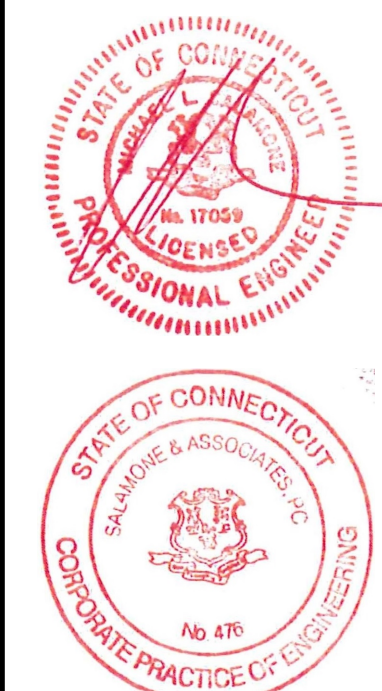
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
AMP	AMPERE
BAS	BUILDING AUTOMATION SYSTEM
BDD	BACK DRAFT DAMPER
BHP	BRAKE HORSE POWER
BTU	BRITISH THERMAL UNIT
BTUH	BRITISH THERMAL UNIT/HOUR
CENTRIF	CENTRIFUGAL
CFM	CUBIC FEET PER MINUTE
COND	CONDENSATE
ESP	EXTERNAL STATIC PRESSURE
FD	FIRE DAMPER
FFF	FROM FINISHED FLOOR
FFM	FEET PER MINUTE
FPS	FEET PER SECOND
FT	FEET
GPM	GALLONS PER MINUTE
HP	HORSEPOWER
HT	HEIGHT
ID	INSIDE DIAMETER
IN	INCHES
L	LENGTH
LWT	LEAVING WATER TEMPERATURE
MAX	MAXIMUM
MBH	THOUSAND BTU/HOUR
MIN	MINIMUM
NTS	NOT TO SCALE
OBDD	OPPOSED BLADE DAMPER
PSIA	POUNDS PER SQUARE INCH ABSOLUTE
PSIG	POUNDS PER SQUARE INCH GAUGE
RPM	REVOLUTIONS PER MINUTE
SENS	SENSOR
SP	STATIC PRESSURE
TEMP	TEMPERATURE
TONS	TONS OF REFRIGERATION



SOUTHERN CONNECTICUT STATE UNIVERSITY
FACILITIES PLANNING DEPARTMENT
615 FITCH STREET, HAMDEN, CT. 06514 TEL. 203-392-6055



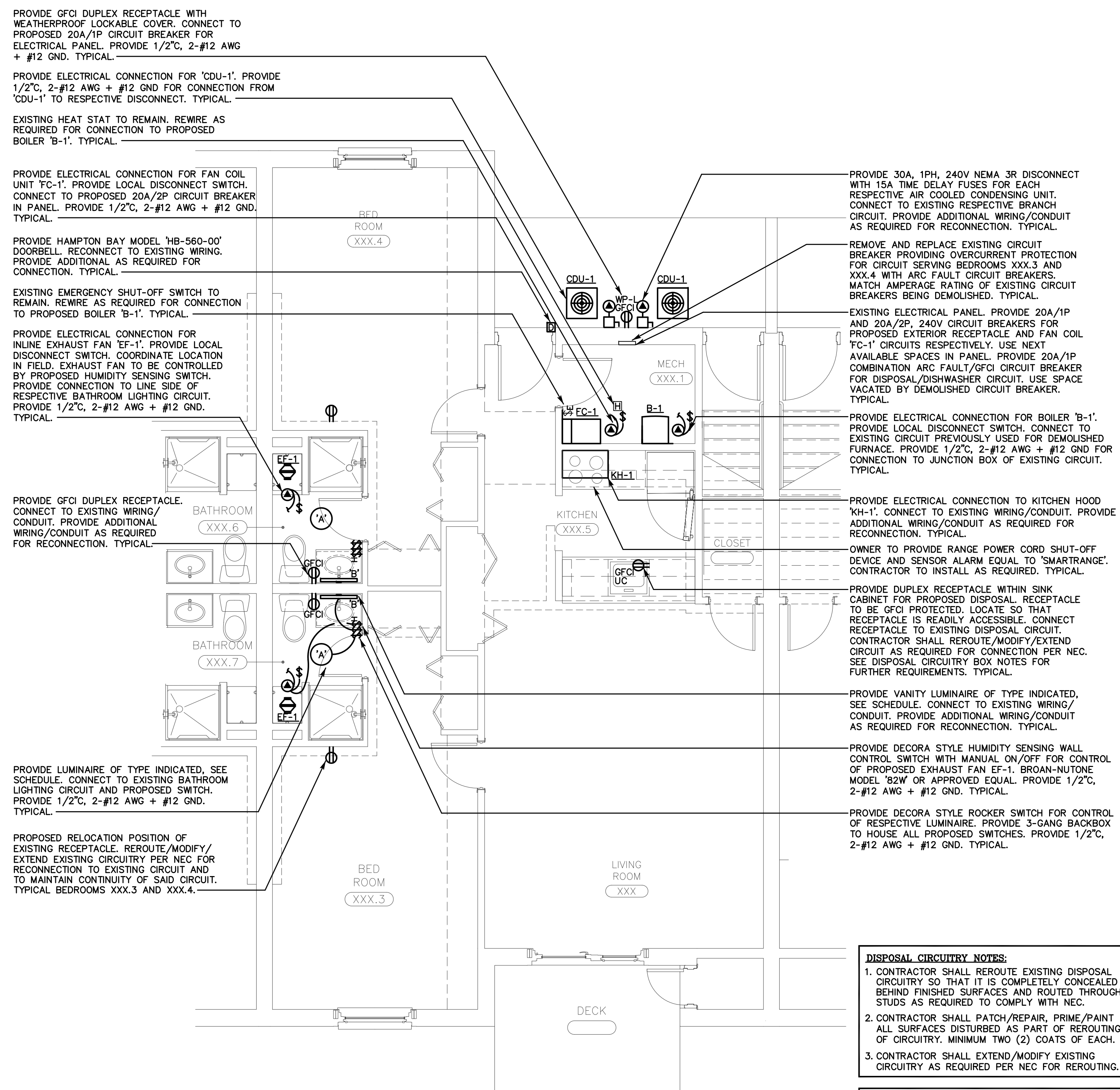
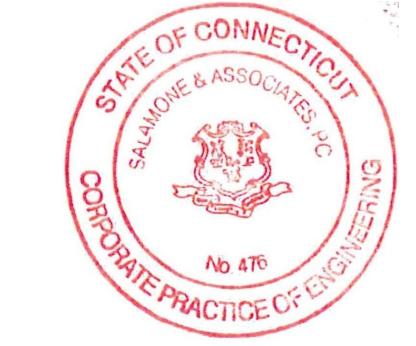
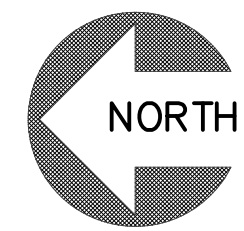
SALAMONE & ASSOCIATES, P.C.
REGISTERED PROFESSIONAL ENGINEERS
100 Main Street, Hamden, CT 06514
Phone: (203) 342-1100 Fax: (203) 342-1101



NORTH CAMPUS TOWNHOUSES C & D UNITS RENOVATIONS 2021

CADD. NO. PROJECT NO. SCSU-2021-01
SHEET DATE: DECEMBER 22, 2020
DRAWING TITLE: MECHANICAL SCHEDULES, NOTES, DETAILS AND ABBREVIATIONS
M3

PLAN REVIEW 01/22/2021



PROVIDE GFCI DUPLEX RECEPTACLE WITH WEATHERPROOF LOCKABLE COVER. CONNECT TO PROPOSED 20A/1P CIRCUIT BREAKER FOR ELECTRICAL PANEL. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

PROVIDE ELECTRICAL CONNECTION FOR 'CDU-1'. PROVIDE 1/2" C, 2-#12 AWG + #12 GND FOR CONNECTION FROM 'CDU-1' TO RESPECTIVE DISCONNECT. TYPICAL.

EXISTING HEAT STAT TO REMAIN. REWIRE AS REQUIRED FOR CONNECTION TO PROPOSED BOILER 'B-1'. TYPICAL.

PROVIDE ELECTRICAL CONNECTION FOR FAN COIL UNIT 'FC-1'. PROVIDE LOCAL DISCONNECT SWITCH. CONNECT TO PROPOSED 20A/2P CIRCUIT BREAKER IN PANEL. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

PROVIDE HAMPTON BAY MODEL 'HB-560-00' DOORBELL. RECONNECT TO EXISTING WIRING. PROVIDE ADDITIONAL AS REQUIRED FOR CONNECTION. TYPICAL.

EXISTING EMERGENCY SHUT-OFF SWITCH TO REMAIN. REWIRE AS REQUIRED FOR CONNECTION TO PROPOSED BOILER 'B-1'. TYPICAL.

PROVIDE ELECTRICAL CONNECTION FOR INLINE EXHAUST FAN 'EF-1'. PROVIDE LOCAL DISCONNECT SWITCH. COORDINATE LOCATION IN FIELD. EXHAUST FAN TO BE CONTROLLED BY PROPOSED HUMIDITY SENSING SWITCH. PROVIDE CONNECTION TO LINE SIDE OF RESPECTIVE BATHROOM LIGHTING CIRCUIT. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

PROVIDE GFCI DUPLEX RECEPTACLE. CONNECT TO EXISTING WIRING/CONDUIT. PROVIDE ADDITIONAL WIRING/CONDUIT AS REQUIRED FOR RECONNECTION. TYPICAL.

PROVIDE VANITY LUMINAIRE OF TYPE INDICATED, SEE SCHEDULE. CONNECT TO EXISTING BATHROOM LIGHTING CIRCUIT AND PROPOSED SWITCH. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

PROPOSED RELOCATION POSITION OF EXISTING RECEPTACLE. REROUTE/MODIFY/EXTEND EXISTING CIRCUITRY PER NEC FOR RECONNECTION TO EXISTING CIRCUIT AND TO MAINTAIN CONTINUITY OF SAID CIRCUIT. TYPICAL BEDROOMS XXX.3 AND XXX.4.

PROVIDE 30A, 1PH, 240V NEMA 3R DISCONNECT WITH 15A TIME DELAY FUSES FOR EACH RESPECTIVE AIR COOLED CONDENSING UNIT. CONNECT TO EXISTING RESPECTIVE BRANCH CIRCUIT. PROVIDE ADDITIONAL WIRING/CONDUIT AS REQUIRED FOR RECONNECTION. TYPICAL.

REMOVE AND REPLACE EXISTING CIRCUIT BREAKER PROVIDING OVERCURRENT PROTECTION FOR CIRCUIT SERVING BEDROOMS XXX.3 AND XXX.4 WITH ARC FAULT CIRCUIT BREAKERS. MATCH AMPERAGE RATING OF EXISTING CIRCUIT BREAKERS BEING DEMOLISHED. TYPICAL.

EXISTING ELECTRICAL PANEL. PROVIDE 20A/1P AND 20A/2P, 240V CIRCUIT BREAKERS FOR PROPOSED EXTERIOR RECEPTACLE AND FAN COIL 'FC-1' CIRCUITS RESPECTIVELY. USE NEXT AVAILABLE SPACES IN PANEL. PROVIDE 20A/1P COMBINATION ARC FAULT/GFCI CIRCUIT BREAKER FOR DISPOSAL/DISHWASHER CIRCUIT. USE SPACE VACATED BY DEMOLISHED CIRCUIT BREAKER. TYPICAL.

PROVIDE ELECTRICAL CONNECTION FOR BOILER 'B-1'. PROVIDE LOCAL DISCONNECT SWITCH. CONNECT TO EXISTING CIRCUIT PREVIOUSLY USED FOR DEMOLISHED FURNACE. PROVIDE 1/2" C, 2-#12 AWG + #12 GND FOR CONNECTION TO JUNCTION BOX OF EXISTING CIRCUIT. TYPICAL.

PROVIDE ELECTRICAL CONNECTION TO KITCHEN HOOD 'KH-1'. CONNECT TO EXISTING WIRING/CONDUIT. PROVIDE ADDITIONAL WIRING/CONDUIT AS REQUIRED FOR RECONNECTION. TYPICAL.

OWNER TO PROVIDE RANGE POWER CORD SHUT-OFF DEVICE AND SENSOR ALARM EQUAL TO 'SMARTRANGE'. CONTRACTOR TO INSTALL AS REQUIRED. TYPICAL.

PROVIDE DUPLEX RECEPTACLE WITHIN SINK CABINET FOR PROPOSED DISPOSAL RECEPTACLE TO BE GFCI PROTECTED. LOCATE SO THAT RECEPTACLE IS READILY ACCESSIBLE. CONNECT RECEPTACLE TO EXISTING DISPOSAL CIRCUIT. CONTRACTOR SHALL REROUTE/MODIFY/EXTEND CIRCUIT AS REQUIRED FOR CONNECTION PER NEC. SEE DISPOSAL CIRCUITRY BOX NOTES FOR FURTHER REQUIREMENTS. TYPICAL.

PROVIDE VANITY LUMINAIRE OF TYPE INDICATED, SEE SCHEDULE. CONNECT TO EXISTING WIRING/CONDUIT. PROVIDE ADDITIONAL WIRING/CONDUIT AS REQUIRED FOR RECONNECTION. TYPICAL.

PROVIDE DECORA STYLE HUMIDITY SENSING WALL CONTROL SWITCH WITH MANUAL ON/OFF FOR CONTROL OF PROPOSED EXHAUST FAN 'EF-1'. BROAN-NUTONE MODEL 'B2W' OR APPROVED EQUAL. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

PROVIDE DECORA STYLE ROCKER SWITCH FOR CONTROL OF RESPECTIVE LUMINAIRE. PROVIDE 3-GANG BACKBOX TO HOUSE ALL PROPOSED SWITCHES. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

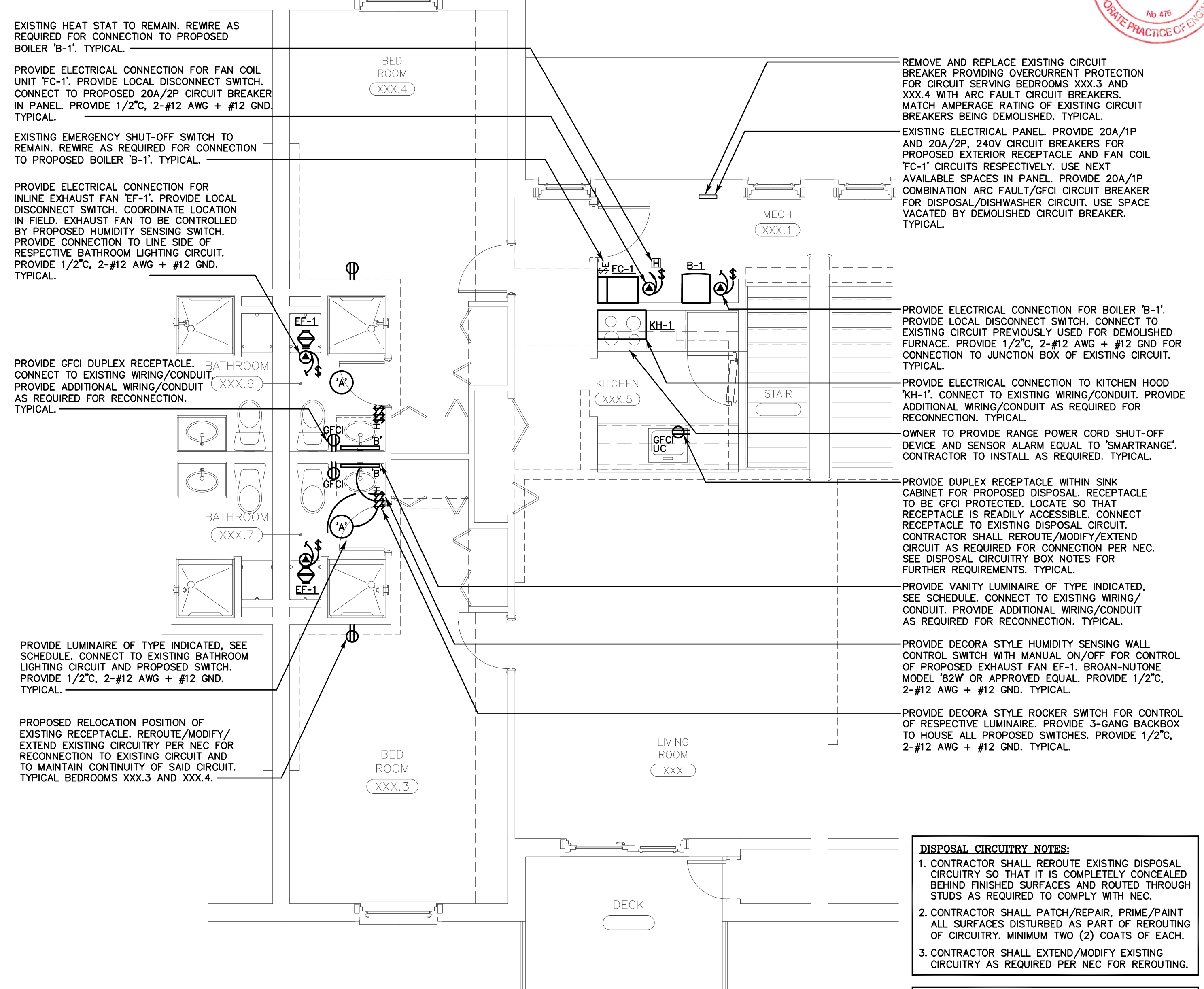
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PROPOSED RELOCATION POSITION OF EXISTING RECEPTACLE. REROUTE/MODIFY/EXTEND EXISTING CIRCUITRY PER NEC FOR RECONNECTION TO EXISTING CIRCUIT AND TO MAINTAIN CONTINUITY OF SAID CIRCUIT. TYPICAL BEDROOMS XXX.3 AND XXX.4.

DISPOSAL CIRCUITRY NOTES:
 1. CONTRACTOR SHALL REROUTE EXISTING DISPOSAL CIRCUITRY SO THAT IT IS COMPLETELY CONCEALED BEHIND FINISHED SURFACES AND ROUTED THROUGH STUDS AS REQUIRED TO COMPLY WITH NEC.
 2. CONTRACTOR SHALL PATCH/REPAIR, PRIME/PAINT ALL SURFACES DISTURBED AS PART OF REROUTING OF CIRCUITRY. MINIMUM TWO (2) COATS OF EACH.
 3. CONTRACTOR SHALL EXTEND/MODIFY EXISTING CIRCUITRY AS REQUIRED PER NEC FOR REROUTING.

CARBON MONOXIDE DETECTION NOTE:
 1. CARBON MONOXIDE DETECTION SHALL BE BY SCSU UNDER A SEPARATE CONTRACT.

1 PARTIAL FIRST FLOOR ELECTRICAL PLAN - TYPICAL UNIT
 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS



EXISTING HEAT STAT TO REMAIN. REWIRE AS REQUIRED FOR CONNECTION TO PROPOSED BOILER 'B-1'. TYPICAL.

PROVIDE ELECTRICAL CONNECTION FOR FAN COIL UNIT 'FC-1'. PROVIDE LOCAL DISCONNECT SWITCH. CONNECT TO PROPOSED 20A/2P CIRCUIT BREAKER IN PANEL. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

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PROVIDE VANITY LUMINAIRE OF TYPE INDICATED, SEE SCHEDULE. CONNECT TO EXISTING BATHROOM LIGHTING CIRCUIT AND PROPOSED SWITCH. PROVIDE 1/2" C, 2-#12 AWG + #12 GND. TYPICAL.

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REMOVE AND REPLACE EXISTING CIRCUIT BREAKER PROVIDING OVERCURRENT PROTECTION FOR CIRCUIT SERVING BEDROOMS XXX.3 AND XXX.4 WITH ARC FAULT CIRCUIT BREAKERS. MATCH AMPERAGE RATING OF EXISTING CIRCUIT BREAKERS BEING DEMOLISHED. TYPICAL.

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 3. CONTRACTOR SHALL EXTEND/MODIFY EXISTING CIRCUITRY AS REQUIRED PER NEC FOR REROUTING.

CARBON MONOXIDE DETECTION NOTE:
 1. CARBON MONOXIDE DETECTION SHALL BE BY SCSU UNDER A SEPARATE CONTRACT.

2 PARTIAL SECOND FLOOR ELECTRICAL PLAN - TYPICAL UNIT
 SCALE: 1/4" = 1'-0" LAYOUT AS SHOWN OR OPPOSITE HAND, SEE BUILDING PLANS FOR LAYOUTS FOR SPECIFIC UNIT NUMBERS

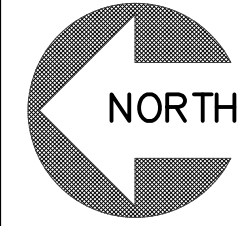
PLAN REVIEW 01/22/2021

LUMINAIRE SCHEDULE					
LTC. CODE	DESCRIPTIONS	VOLTS	CATALOG NO. / MANUFACTURER	MOUNTING	LAMPING
A	14"W X 2.5"H SURFACE MOUNTED, HIGH EFFICIENCY LED LUMINAIRE. NOMINAL 1100 LUMEN OUTPUT, 3000K COLOR TEMP. 80CRI. HIGH TRANSMISSION WHITE ACRYLIC DIFFUSER. COLD ROLLED STEEL HOUSING. SATIN FINISH. 5 YEAR WARRANTY. UL LISTED DAMP LOCATIONS.	120	DC336D-3000K-62 SUNPARK	SURFACE/ CEILING	LED
B	24" HIGH EFFICIENCY LED VANITY LUMINAIRE. NOMINAL 2110 LUMEN OUTPUT, 3000K COLOR TEMP. 80CRI. HIGH TRANSMISSION WHITE ACRYLIC DIFFUSER. COLD ROLLED STEEL HOUSING. SATIN FINISH. 5 YEAR WARRANTY. UL LISTED DAMP LOCATIONS.	120	FL5524D-B-MCT -62 SUNPARK	WALL/ VANITY	LED

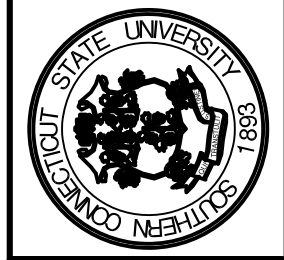
ELECTRICAL SYMBOL LIST	
	DUPLEX RECEPTACLE GFCI - GROUND FAULT CIRCUIT INTERRUPTER IG - ISOLATED GROUND WP - WEATHERPROOF L - LOCKABLE COVER
	SWITCH (NONE) - SINGLE POLE 2 - TWO POLE 3 - THREE WAY 4 - FOUR WAY D - DIMMER TOL - THERMAL OVERLOAD PROTECTION DEVICE VS - VACANCY SENSOR
	SPECIAL PURPOSE CONNECTION
	DISCONNECT SWITCH
	BRANCH CIRCUIT HOMERUN (ARROWS INDICATE CIRCUIT NUMBERS)

ELECTRICAL ABBREVIATIONS	
A	AMPERES
A.F.F.	ABOVE FINISHED FLOOR
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
CIR	CIRCUIT
G	GROUNDING
NEC	NATIONAL ELECTRIC CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASS.
P	POLE
UL	UNDERWRITER'S LABORATORY
V	VOLTS
VA	VOLT-AMPERES
W	WATTS
#	WIRE SIZE IN AWG, OR MCM WHEN INDICATED

- ### ELECTRICAL GENERAL NOTES
- PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM INCLUDING ALL NECESSARY MATERIAL, LABOR AND EQUIPMENT.
 - ELECTRICAL PLANS AND DETAILS AND ONE LINE DIAGRAMS SHOW THE GENERAL LOCATION AND ARRANGEMENT OF THE ELECTRICAL SYSTEM. THEY ARE DIAGRAMMATIC AND DO NOT SHOW ALL CONDUIT BODIES, CONNECTORS, BENDS, FITTINGS, HANGERS AND ADDITIONAL PULL AND JUNCTION BOXES.
 - ALL EQUIPMENT AND MATERIAL SHALL BE LABELED, LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING.
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
 - ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
 - THE DEFINITION OF ELECTRICAL TERMS USED SHALL BE AS DEFINED IN THE 2017 CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).
 - THE TERM "INDICATED" SHALL MEAN "AS SHOWN ON CONTRACT DOCUMENTS (SPECIFICATIONS, DRAWINGS AND RELATED ATTACHMENTS)".
 - THE TERM "PROVIDE" SHALL MEAN "TO FURNISH, INSTALL AND CONNECT COMPLETELY".
 - THE TERM "SIZE" SHALL MEAN ONE OR MORE OF THE FOLLOWING: "LENGTH, CURRENT AND VOLTAGE RATING, NUMBER OF POLES, NEMA SIZE AND OTHER SIMILAR ELECTRICAL CHARACTERISTICS".
 - THE TERM "SPACE" ON PANELBOARD AND SWITCHBOARD SCHEDULES SHALL MEAN "PROVIDE SPACE TO INSTALL THE NUMBER OF POLES AND SIZE OF THE PROTECTIVE DEVICE INDICATED WITH ALL NECESSARY BUS AND FITTINGS TO INSTALL THE DEVICE AT SOME FUTURE DATE".
 - ELECTRICAL PLANS AND DETAILS DO NOT SHOW ALL INTERFERENCES AND CONDITIONS, VISIBLE AND/OR HIDDEN, THAT MAY EXIST; THUS REQUIRING THE CONTRACTOR TO INSPECT AND SURVEY THE SPACE BEFORE PERFORMING THE WORK.
 - COORDINATE ELECTRICAL WORK WITH OWNER.
 - COORDINATE ELECTRICAL WORK WITH OTHER DIVISIONS OF THIS PROJECT.
 - TURN OVER TO THE OWNER ALL MANUFACTURERS WARRANTIES FOR EQUIPMENT AND MATERIAL PROVIDED.
 - UNLESS OTHERWISE INDICATED, ALL ELECTRICAL EQUIPMENT HAS BEEN BASED ON GENERAL ELECTRIC PRODUCTS.
 - THE CONTRACTOR MAY SUBSTITUTE EQUIPMENT OF ANOTHER MANUFACTURER IF IT IS OF EQUAL QUALITY AND RATING, SUBJECT TO OWNER'S AND ENGINEER'S REVIEW AND ACCEPTANCE.
 - UNLESS OTHERWISE INDICATED, ALL ENCLOSURES FOR EQUIPMENT PROVIDED SHALL BE NEMA TYPE 1.
 - UNLESS OTHERWISE INDICATED, ALL CONDUCTORS TO BE COPPER THHN/THWN-2.
 - UNLESS OTHERWISE INDICATED, ALL OUTLET AND SWITCH BOXES TO BE CAST IRON WITH THREADED HUBS.
 - IN INTERIOR PROTECTED LOCATIONS, OUTLET AND SWITCH BOXES MAY BE STEEL.
 - UNLESS OTHERWISE INDICATED, PROVIDE HEAVY-DUTY GRADE, 20 AMPERE DECORA STYLE RECEPTACLES AND SWITCHES AND ASSOCIATED WALL PLATES. DEVICE AND WALL PLATES COLOR SHALL BE WHITE. PLATES FOR SURFACE MOUNTED INTERIOR BOXES IN UNFINISHED AREAS SHALL BE STAMPED STEEL. PLATES EXPOSED TO WEATHER OR WATER TO BE GASKETED, WEATHERPROOF TYPE.
 - BEFORE SELECTING MATERIAL AND EQUIPMENT, AND PROCEEDING WITH WORK, INSPECT AREAS WHERE MATERIAL AND EQUIPMENT ARE TO BE INSTALLED TO INSURE SUITABILITY, AND CHECK NEEDED SPACE FOR PLACEMENT, CLEARANCES AND INTERCONNECTIONS.
 - BEFORE CUTTING OR DRILLING INTO BUILDING ELEMENTS, INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRIC CODE (NEC) ANSI/NFPA 70 WITH STATE OF CONNECTICUT AMENDMENTS.
 - THE MEASUREMENT FROM ABOVE FINISHED FLOOR (AFF) SHALL BE TAKEN FROM THE FINISHED FLOOR SURFACE TO THE TOP OF WALL RECEPTACLES AND SWITCH BOXES, TO THE CENTER LINE OF WALL LIGHTING OUTLET BOXES, TO THE TOP OF WALL MOUNTED EQUIPMENT ENCLOSURES, TO THE CENTER LINE OF THE TOP MOST SWITCH HANDLE, OR TO THE LOWEST SURFACE OF CEILING LIGHTING FIXTURES OTHER CEILING MOUNTED EQUIPMENT.
 - UNLESS OTHERWISE INDICATED, ALL CONDUCTORS ARE NO. 12 AWG.
 - CONDUIT SIZE FOR INDICATED CONDUCTORS SHALL BE BASED ON CHAPTER 9 OF NEC.
 - UTILIZE LIQUIDTIGHT FLEXIBLE METAL CONDUIT FOR CONNECT TO EQUIPMENT LOCATED OUTDOORS OR IN DAMP LOCATIONS. MAXIMUM LENGTH OF SIX (6) FEET.
 - ALL WIRING AND CONDUIT SHALL BE CONCEALED BEHIND FINISHED SURFACES.
 - UTILIZE FLEXIBLE METAL CONDUIT OR MC CABLE IN INTERIOR DRY LOCATIONS.
 - PROVIDED ACCEPTABLE TO AUTHORITY HAVING JURISDICTION, CONTRACTOR MAY MAY UTILIZE NONMETALLIC-SHEATHED CABLE IN CONCEALED INTERIOR SPACES ONLY.
 - THE CONTRACTOR MAY GROUP BRANCH CIRCUIT HOME RUN CONDUCTORS IN A SINGLE RACEWAY IN ACCORDANCE WITH NEC.
 - ALL BLANK COVER PLATES TO BE STAINLESS STEEL IN UNFINISHED AREAS ONLY.
 - REFER TO ARCHITECTURAL DRAWINGS FOR SWITCHES, RECEPTACLES AND TELE/DATA OUTLET BOXES FOR MOUNTING HEIGHTS.



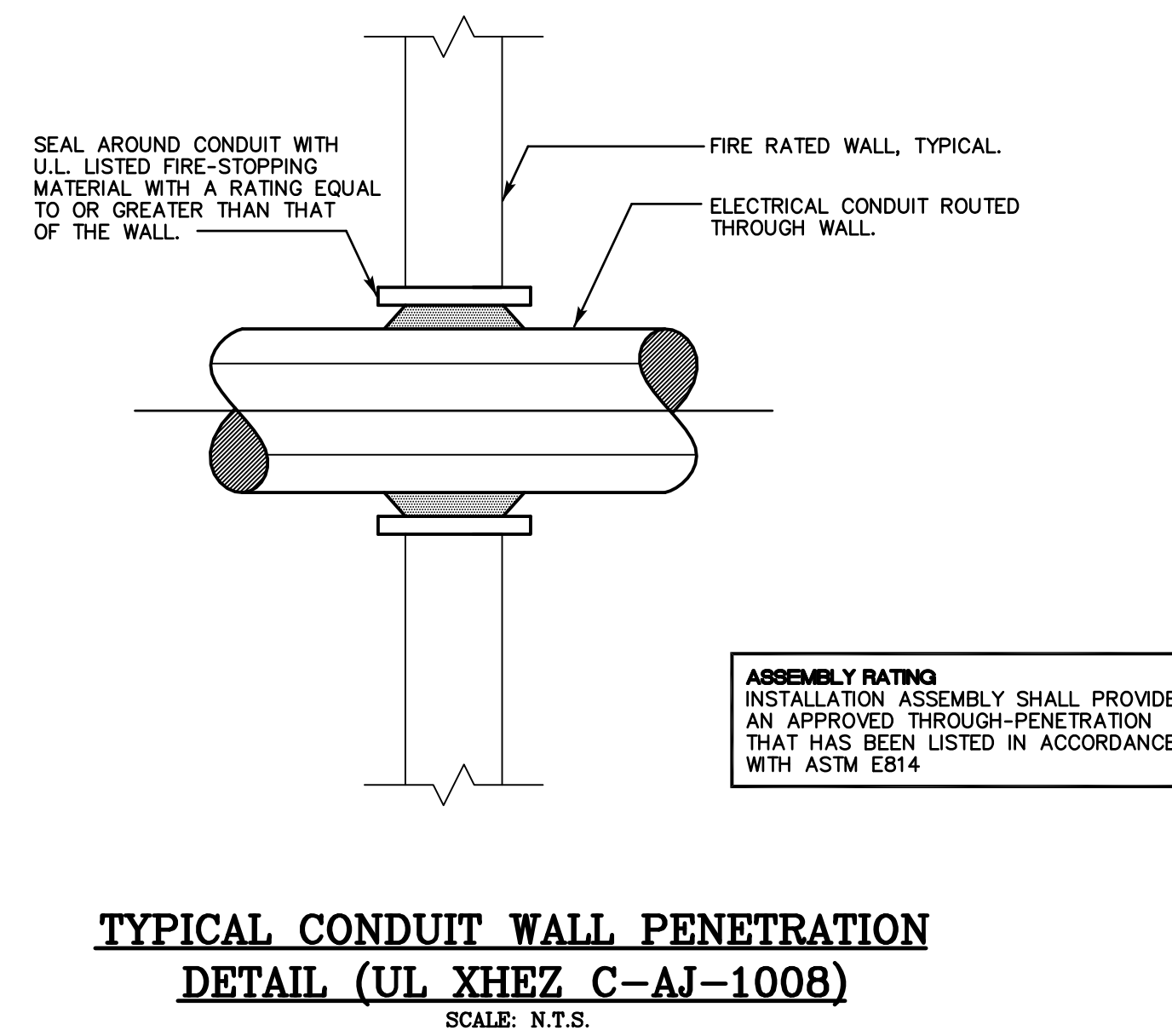
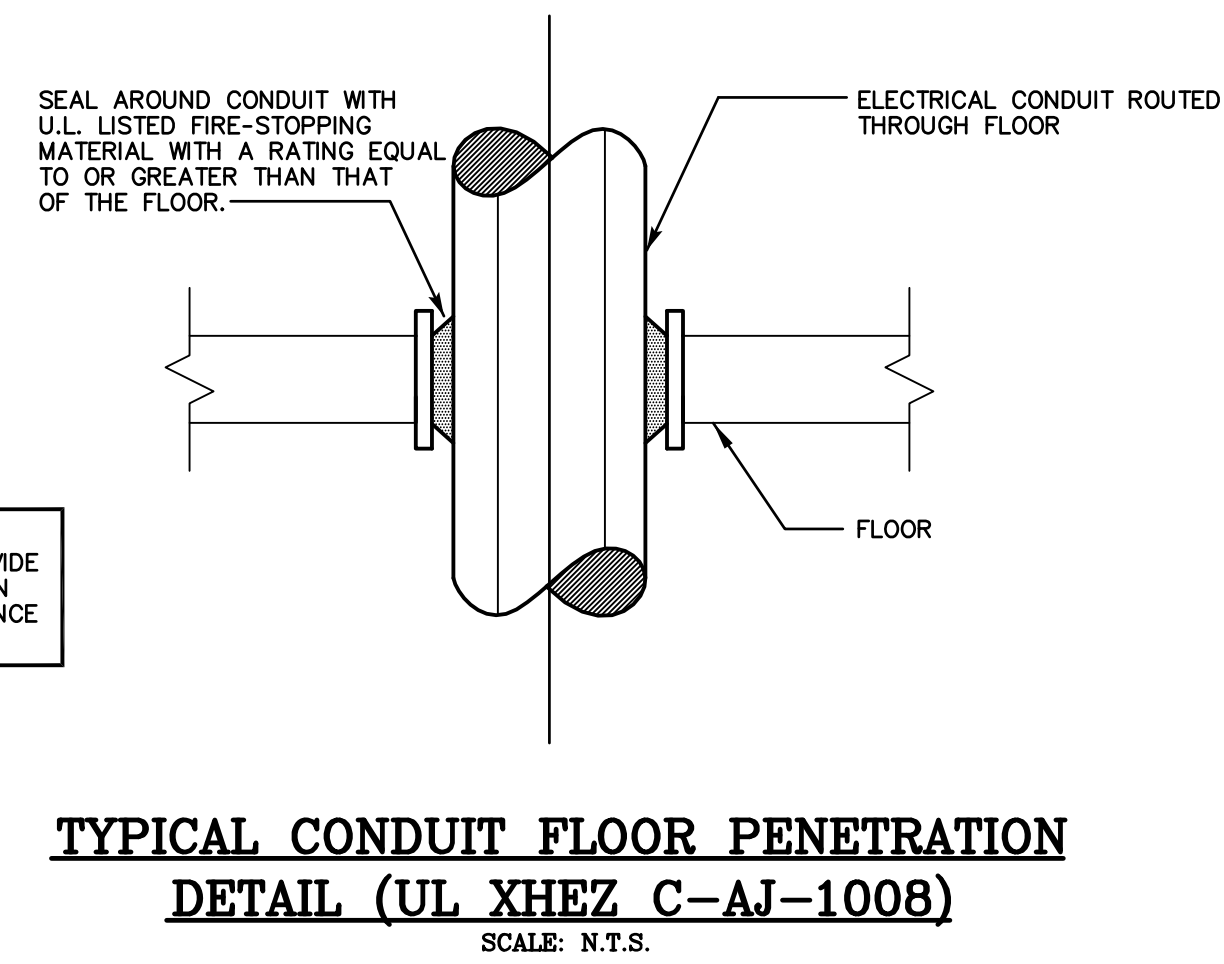
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NORTH CAMPUS TOWNHOUSES C & D UNITS RENOVATIONS 2021



ASSEMBLY RATING
INSTALLATION ASSEMBLY SHALL PROVIDE AN APPROVED THROUGH-PENETRATION THAT HAS BEEN LISTED IN ACCORDANCE WITH ASTM E814

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CADD. NO. PROJECT NO. SCSU-2021-01
 SHEET DATE: DECEMBER 22, 2020
E2 DRAWING TITLE: ELECTRICAL SCHEDULES, DETAILS, SYMBOLS, NOTES AND ABBREVIATIONS

A. PLAN REVIEW 01/22/2021